

# City of Brisbane Planning Commission Agenda Report

TO: Planning Commission  
FROM: Ken Johnson Senior Planner, via John A. Swiecki Community Development Director

For the Meeting of 10/10/13

SUBJECT: 8 Thomas Avenue; Design Permit DP-1-13 and Grading Permit EX-1-13; Design Permit and Grading Permit for Development of an approximately 5,110 square foot Single Family Home with associated grading of approximately 1,850 cubic yards on a Ridgeline Lot within the R-BA Brisbane Acres Zoning District; Mahn Quach, applicant/owner; APN 007-350-340

**Request:** The applicant proposes to build a 5,110 square foot (sq ft) single family residence at 8 Thomas Ave, on a 16,978 sq ft, vacant, ridgeline lot. The lot is located at the corner of Thomas and San Bruno Avenues and is within the R-BA Brisbane Acres Residential zoning district. The development of this lot would include approximately 1,850 cubic yards of grading. A design permit is required for developments on ridgeline lots in the Brisbane Acres and Planning Commission approval of a grading permit is required for grading of over 250 cubic yards.

The proposed home would include approximately 3,415 sq ft of living space, plus a 599 sq ft 3 car garage on the main level. Another 1,097 sq ft of living space would be located in the basement level on the downslope side of the home. The proposed home would meet all applicable development regulations, including setbacks, floor area, lot coverage and height, for this district. This application is limited to the design and proposed grading for this home.

**Recommendation:** Conditionally approve Design Permit DP-1-13 and Grading Permit EX-1-13 per the staff memorandum with attachments, via adoption of Resolution DP-1-13/EX-1-13 with Exhibit A containing the findings and conditions of approval.

**Environmental Determination:** The Brisbane Acres is within the San Bruno Mountain Habitat Conservation Plan (HCP) area and new construction within the Brisbane Acres is subject to environmental review under the California Environmental Quality Act (CEQA). A mitigated negative declaration (State Clearinghouse No 2005042156) was approved by the Planning Commission via adoption of Resolution ER-4-05 on September 22, 2005. The mitigated negative declaration concluded that all environmental impacts will be less than significant or will be reduced to less than significant levels by mitigation measures. The proposed redesign of the house is not considered to be a substantial change that will involve new significant environmental effects or substantially increase the severity of previously identified effects, consistent with State CEQA Guidelines Section 15162(a).

**Applicable Code Sections:** Brisbane Municipal Code Section 17.12.040.L requires a Design Permit for Ridgeline Lots in the Brisbane Acres. The findings required for the approval of

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Design Permits are contained in BMC Sections 17.12.040.L.2 and 17.42.040. Brisbane Municipal Code Sections 15.01.081 and 17.32.220 require, in addition to approval by the City Engineer, approval by the Planning Commission shall also be required for projects involving grading of over 250 cubic yards of material.

**Background:** This lot was established as a legal, buildable lot through a variance in 1970 and a certificate of compliance was issued in 1986.

A residence was previously proposed on this lot in 2005. At that time the Planning Commission considered and granted several permit approvals:

- On September 22, 2005 the Planning Commission adopted the Mitigated Negative Declaration and Mitigation Monitoring Program via Environmental Review ER-4-05. Tied with this environmental determination was a biological study by Thomas Reed and Associates (TRA) to designate the site as a planned parcel within the Habitat Conservation Plan area.
- On October 14, 2005 the Planning Commission granted Habitat Conservation Plan Permit HCP-1-05 for determination of compliance with the San Bruno Mountain HCP
- On October 14, 2005 the Planning Commission also granted Grading Permit EX-1-05 to lower the "building pad" by 3 ft, with 1800 cubic yards of excavation.
- On February 9, 2006 the Planning Commission approved Variance V-4-05-A, for a 30 ft high, 5,500 sq ft home to allow it to be located within the north side setback and to allow for construction on a ridgeline lot. The variance also modified the grading permit to allow for 2,600 cubic yards of grading and to allow the excavation to be 10 ft into the building pad.
- On July 27, 2006 the Planning Commission approved Variance V-1-06 for a revised home plan, which superseded V-4-05-A. Variance V-1-06 allowed the 25% lot coverage (ie: 4,244 sq ft) to be exceeded by approximately 566 ft. It also allowed the structure to be within the north side setback and the total approved floor area remained at the maximum allowed by district regulations of 5,500 sq ft. The height was reduced from the previous approval to approximately 27 ft. The maximum roof ridge would be 188.9 ft.

The current application would rely on some of the previous approvals as discussed below:

- The following permits remain in effect and are used with this design permit application: the Mitigated Negative Declaration and Mitigation Monitoring Program via Environmental Review ER-4-05 and Habitat Conservation Plan Permit HCP-1-05.
- Although the grading permit did not expire, since it is tied to the home design a new application is included at this time. The current application would reduce the previously proposed grading from 2,600 cubic yards to approximately 1,850 cubic yards. This

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Attachment 4

volume may be increased slightly to accommodate rain cisterns as discussed later in this report.

- Since Variance V-1-06 expired, a design permit is required, per code changes regarding ridgeline development which followed the Commission's granting of V-1-06, as detailed in this report. In brief, the current design permit application would reduce the size of the home from the previous approval so that no variances would be required for setbacks or for the home to be over the lot coverage. The maximum roof ridge is proposed at elevation 189.0, nearly the same as previously proposed, but with a smaller overall size in terms of lot coverage and floor area.

**Analysis and Findings:** To approve a Design Permit, the Planning Commission must make the findings required by Brisbane Municipal Code Sections 17.12.040.L.2 and 17.42.040. There are 10 applicable design permit findings which this application must meet for approval. They are outlined below along with the analysis/discussion for each.

There are currently no findings in the Municipal Code for the Commission's approval of the grading permit as required by BMC Sections 15.01.081 and 17.32.220. The grading permit application and design permit applications essentially go hand in hand. However, a revised grading ordinance is under consideration by City Council and these draft findings are addressed at the end of this section.

Design Permit Analysis and Findings:

The applicable design permit findings which this application must meet for approval are outlined below along with the analysis/discussion for each, as follows:

**Ridgeline Development:** "The planning commission shall find that the building's placement, height, bulk and landscaping will preserve those public views of the San Bruno Mountain State and County Park as seen from the community park and from the Bay Trail along the Brisbane Lagoon and Sierra Point shorelines that are found to be of community-wide value."

The proposal is consistent with this finding. The home would have Thomas Avenue as the street frontage and San Bruno Avenue as secondary frontage. It would include 2 stories on the down slope side, facing the San Francisco Bay, and 1 story on the upslope side. The maximum height of the proposed home at its roof peak as measured from grade would be 25 ft. As height is defined in the municipal code, the structure would measure approximately 27 ft (The lowest point 5 ft from the downslope edge of the house to the midline of the roof). This is well below the 35 ft maximum is allowed for this district. As viewed from Thomas Avenue the total elevation of the home to the roof peak would measure approximately 17 ft. The orientation results in a generally straight on view as seen from the Bay Trail, which serves to make less of the home visible than views from an oblique angle would. Also, although the home is large at approximately 5,110 sq ft it has been reduced from its previously proposed 5,500 sq ft, and is positioned on the site to minimize view impacts, consistent with the previously approved proposal. It is positioned as low in elevation on the property as allowed while maintaining the

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required 20 ft rear setback for a butterfly corridor. Also, the basement level would be partially excavated into the hillside to help fit the house in with the topography.

As required by the design permit provisions, the applicant has had story poles installed and certified to represent the height and roof peak location at the corners and high points of the roofline. Staff subsequently conducted a photo analysis of the proposal from the Bay Trail along the Lagoon and Sierra Point shorelines (see attached). Note the required finding regarding ridgeline development also specifies the community park, but the site is not visible from this location.

The photo analysis included photos taken at 300 ft intervals along the Bay Trail for each of these two shorelines to determine at which points along the trails the site became visible and to what degree would the proposal impact views of the State and County Park beyond the site. As indicated on the attached aerial showing the photo locations, the site is visible along the southern half of the Brisbane Lagoon and along most of the Bay Trail along the northern edge of Sierra Point, except where hidden by vegetation. It is noteworthy however, that along both shorelines, but especially from the distances of the eastern end of Sierra Point, zoom lenses were necessary to conduct this analyses. Photos were taken using a micro four-thirds camera with lenses set at 15mm, 40mm and 150mm zoom. These are equivalent to a 35 mm camera using zoom lenses of 30mm, 80mm and 300mm. The comparison of the photos to the natural view shows that the natural view appears to be closest to the 15 mm lens. So the 40mm and especially the 150mm zoom, while useful in picking up details at these distances of approximately four-tenths to nine-tenths of a mile, provide a much more narrow and focused view of the site than is experienced with the naked eye.

The photo points are mapped by distance in feet from either the fishing pier at Sierra Point (S-300, S-600, etc.) or the fishing park at the Lagoon (L-300, L-600, etc.).

Results from the Lagoon photos show that the story poles become visible between approximately 600 and 1,500 and again 1,800 to 3,300 feet south of the fishing park. For most of these stretches of the trail along the Lagoon the home would not have any impact on views of the State and County Park, but rather portions of Central Brisbane or sky view are behind. The exception to this is the stretch from approximately 2,100 ft to 2,800 ft south of the fishing park, where the lands of the State and County Park (above the homes of Central Brisbane) lines up with the view corridor of the proposed home. So for the approximately 5,000 ft long Bay Trail along the eastern edge of the Lagoon (from Lagoon road to U.S. 101), the home would have a limited impact on the view corridor to the State and County Park as shown in the attached photos for approximately 700 ft. That is approximately 14 percent of this Bay Trail segment.

Results from the Sierra Point Bay Trail photos show that the story poles on the site are visible from the fishing pier, the views west of the pier for approximately 100 feet and are blocked behind Bay Trail vegetation until approximately the 600 ft mark, west of the pier. The site comes into view after that point and remains mostly visible, except for an occasional tree break, until the end of the paved section of the Bay Trail at 1,968 ft west of the pier. Soon after that point the view to the site is screened by vegetation and then blocked by the U.S. 101 freeway. Generally the angle at which these photos were taken does not vary as greatly as those taken from the

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Lagoon, given the east-west orientation of this trail. For almost the entire length of this trail the proposed home would block views of the apartment building and portions of trees along Thomas Ridge and nearly imperceptible slivers of the State and County Park beyond the existing apartment building.

Along both shorelines the view impacts were not perceived as significant. In the case of the Lagoon the site would block a small portion of the State and County Park for a relatively small segment of the trail along the Lagoon area and that being across the Thomas Hill ridge line that has already been developed. So at points where the parklands would be most visible across the Thomas Hill ridge line these views have already been impacted by existing development, especially the apartment building along Thomas Avenue, directly across the street. Other existing development which has already impacted these view corridors includes the power transmission lines and radio facilities, which are located within the park.

In the case of view impacts along the Bay Trail at Sierra Point, the view angle places the existing apartment building squarely behind the proposed development. The most significant view would be at the point at the end of the paved trail at 1,800 ft from the fishing pier where the peak of the roofline would briefly come in line with the ridge behind. However, this view of the ridge is already impacted by the presence of trees and the power pole behind, so it currently is not a clear ridge line view.

Given the long distances, the mix of existing development, and the relatively low profile of the proposed home on the lot, the view impacts to the State and County Park beyond the site would not be considered significant and the public views are substantially preserved. In summary, the building's placement, height, bulk and landscaping takes adequate measures to preserve the public views that remain along the subject view corridors.

General Plan Consistency: "The proposed development is consistent with the general plan and any applicable specific plan."

The proposal is consistent with the General Plan and there is no specific plan for this area of Brisbane. The General Plan land use designation for this site is for residential use.

The 1994 General Plan includes the following policies and programs regarding ridge line development and view protection and grading:

Policy 83 Maintain the visual beauty of the Mountain, the ridgelines, hilltops, wildlife and plant habitat including the Brisbane Acres.

Policy 18 Respect the topography of the Mountain in design and construction.

Program 18a: In conjunction with land use development applications, encourage options that minimize grading and transformation of the landform and fit comfortably with the topography.

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General Plan Policy 83 is implemented through the ridge line ordinance, BMC Section 17.40.040.L. As discussed in the preceding finding, the State and County Park lands as well as the brief view corridor of the ridge line, "Radio Ridge", are not currently in an open state and this project would not detract from the visual beauty of the mountain. Policy 18 and Program 18a call for minimizing grading and respecting the topography. This application seeks to find that balance of both minimizing grading and respecting and fitting comfortably with the topography stepping the home down the hill.

Compatibility with Adjacent Development: "The orientation and location of buildings, structures, open spaces and other features integrate well with each other and maintain a compatible relationship to adjacent development."

The proposal is consistent with this finding. The neighborhood includes a single family home adjacent to the site on the north side, at 88 Thomas Avenue. Similar to 8 Thomas Avenue, a variance was approved for 88 Thomas in 2011 for ridge line development of a new single family home and conversion of the existing home into a secondary dwelling unit. Since this home is yet to be constructed and the home can not be seen at the site, an excerpt of the proposed plans is provided for reference. Four apartment buildings are located across the street on Thomas Avenue. Vacant parcels are located immediately to the east (downslope) and to the south across San Bruno Avenue.

The 88 Thomas Avenue site provides the best comparison with this site since it was also approved for ridge line development and is the only adjacent development within the same zoning district. That proposal is of similar scale, with a 28 ft high, 4,270 sq ft main structure and a 998 sq ft existing home that would be converted to a secondary dwelling unit, on a 20,841 sq ft lot.

Like 88 Thomas Avenue, 8 Thomas Avenue would be located as low on the hillside as possible while retaining the 20 ft habitat corridor in the rear setback (east side of these sites). Both would take advantage of the Bay views in their orientation. 88 Thomas Avenue has a modern architectural style, while 8 Thomas is a ranch style, with the linear elements of the windows providing a modern touch. The two designs would complement each other and 8 Thomas Avenue would add to the diversity of styles in Brisbane.

The proposal meets the specific development regulations regarding the size of the building (floor area, lot coverage and height) as well as placement (setbacks) for this zoning district. A summary of the proposal relative to the development regulations, BMC Section 17.10.040, is attached (Table 1).

Water conserving landscaping would be provided throughout the site, as shown by the conceptual landscape plan, and would soften the overall appearance of the building and the plantings will be required to be native within the habitat corridors. Permeable pavers would be used for the driveway to minimize stormwater runoff and rain cisterns are proposed at the corners of the house. Fencing is proposed to be an open pattern steel fence, which would allow butterflies to pass through. Conditions of approval are included to require that the rain cisterns be located underground so they are not visible and that the final details of the landscape plan, including the fencing, shall be subject to approval by the Community Development Director.

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Articulation requirements are not applicable for this project under the development regulations, since the exterior walls are less than 20 feet in height. However, articulation of the building is of concern as it relates to how the building's architecture fits with the neighborhood and the proposal employs good articulation its design features.

The structure would have a hipped asphalt shingle roof with stucco exterior walls. The proposed colors are rust for the body of the stucco and dark brown doors and dark brown and white trim. Note that renderings of the proposed building are provided to give a sense of how the building and landscape concept would appear.

**Potential Impacts on Adjacent Land Uses:** "Proposed buildings and structures are designed and located to mitigate potential impacts to adjacent land uses."

The proposal is consistent with this finding. As indicated in the discussion on the previous finding the proposed building is appropriately situated on the site and the combination of the proposed setbacks and height being under the limit will maintain light and air to the adjacent land uses.

The primary potential impact on adjacent uses would be on the private views especially views from the lower apartment building windows immediately across Thomas Avenue. Also, views from private properties in Central Brisbane across Thomas Ridge to the Bay may be impacted. However, while the Municipal Code does address public views from the Lagoon and Sierra Point it does not address private views, since virtually any new development in a hillside urban setting such as Brisbane is likely to impact one or more private views from existing residents.

In addition, the proposed development in having a lowered height to address the views from the specified public trails, in turn helps to reduce the view impacts on existing residential uses in the neighborhood.

**Natural Heating & Cooling:** "The project design takes advantage of natural heating and cooling opportunities through building placement, landscaping and building design to the extent practicable, given site constraints, to promote sustainable development and to address long term affordability."

The proposal is consistent with this finding. The design includes appropriate placement of windows on all sides of the building and eaves. The windows will allow for natural light throughout the units, thereby adding comfort and reducing the need for daytime lighting. The eaves will provide shading of the windows in the summer months when the sun tends to be higher in the sky and then allow for more sun through the windows in the winter when the sun is lower in the sky, providing natural heating and cooling.

**Minimizing Traffic Effects:** "The site plan minimizes the effects of traffic on abutting streets through careful layout of the site with respect to location, dimensions of vehicular and pedestrian entrances and exit drives, and through the provision of adequate off-street parking. There is an

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adequate circulation pattern within the boundaries of the development. Parking facilities are adequately surfaced, landscaped and lit."

The proposal is consistent with this finding. The driveway is accessed from Thomas Avenue and more than the required parking would be provided on-site, with 7 spaces to be provided versus the required minimum of 4 spaces. A gate is proposed across the driveway, but the proposed driveway length is adequate to allow a car (or 2 cars side by side) to pull completely off the street while that gate is opened to access the parking courtyard. Also, 2 of the uncovered spaces would be provided on the street side to the east of the gate. So guests could park there without the need to pull through the gate into the parking court.

**Appropriate Landscaping:** "The site provides open areas and landscaping to complement the buildings and structures. Landscaping is also used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy. Landscaping is generally water conserving and is appropriate to the location. Attention is given to habitat protection and wildland fire hazard as appropriate."

The proposal is consistent with this finding. The proposed conceptual landscaping plan complements the building in that it is in scale with the site and tall tree species which would block views are not included. The landscaping is proposed using water conserving plants and low water use, drip irrigation. The proposed landscape also includes permeable pavers which would serve to minimize stormwater runoff. A condition of approval has also been recommended that runoff be directed away from the building to the landscaping, consistent with the California Water Board's recommended best management practices. Three rain cisterns are proposed at the corners of the building to reduce water demand. A condition of approval has been recommended to locate these underground so they would not be visible.

Since the site is within the San Bruno Mountain Habitat Conservation Plan area the landscaping shall not be permitted to include either invasive or highly flammable plant species. TRA was also provided the proposed landscape for review with consistency with the HCP and had no comments. The final landscape plan will be subject to Community Development Director review as part of the building permit process.

**Noise Measures:** "The proposal takes reasonable measures to protect against external and internal noise."

The proposal is consistent with this finding. Given the site's potential for noise exposure from U.S. 101 and Bayshore Boulevard a mitigation measure has been included with the mitigated negative declaration to require that an acoustical analysis be conducted showing that the proposed design will limit exterior noise to 45 decibels in any habitable room. There are no other anticipated noise concerns.

**Avoiding Glare:** "Consideration has been given to avoiding off-site glare from lighting and reflective building materials."

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The proposal is consistent with this finding. A mitigation measure has been included with the mitigated negative declaration to require that low level exterior lighting be directed away from adjacent properties and not upward into the night sky so as not to result in off-site impacts upon neighboring properties. Also the measure calls for exclusion of highly-reflective glass and other exterior building materials.

Screening Utilities: "Attention is given to the screening of utility structures, mechanical equipment, trash containers and rooftop equipment."

The proposal is consistent with this finding. PG&E meters and electrical boxes will be screened from view on the north side of the house and by landscaping, along the interior side setback. The trash enclosures would be located behind a retaining wall enclosure, adjacent to the driveway, and behind front yard landscaping.

Grading Permit Analysis and Findings:

As previously indicated there are currently no specific findings in the Municipal Code for the Commission's approval of the grading permit. The grading permit application and design permit applications have been seen as essentially going hand in hand. However, a revised grading ordinance, Ordinance No. 579, was introduced by City Council on September 16th and tentatively continued to late October. Although a decision may be reached on this project prior to Council's adoption of the ordinance, the draft findings are provided below for reference. Note also that following the Commission's approval of a design permit and excavation permit the applicant will be required to obtain the City Engineer's approval of a Grading Permit, which would address the technical aspects of the proposed grading work. Also, the required mitigation measures required that a licensed geotechnical professional oversee the project.

The draft grading permit findings are as follows:

Fitting with Topography and Context: "Will the proposed grading be designed to reflect or fit comfortably with the topography with the site context and natural topography?"

The proposed grading would fit with the topography and context in that the home is proposed to step down the hill and there is a balance between the proposed grading and the height of the structure (ie: view impacts in balance with grading impacts).

Retaining Walls: "Will the proposed grading be designed to ensure that retaining walls visible to the public are designed to be as visually unobtrusive as possible by means including but not limited to:

- ii. Ensuring walls are architecturally integrated with proposed or existing structures on the site;
- iii. Ensuring walls faces are decorative and treated with color, texture, architectural features, trelliswork or other means to visually break up the wall expanses;

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- iv. Screening with water conserving, non-invasive landscaping that at maturity will soften and reduce the visible expanse of walls?"

The proposed grading would include an approximately 4 ft high wood retaining wall that would be visible to the public along the proposed Thomas Avenue sidewalk. The wood would by its nature break up its height and would blend well with the setting. Other walls are internal to the site and so they would be less visible and are generally 4 feet or less. Colors will be required to be approved by the Community Development Director, per proposed condition of approval no. 7.

Tree Removal During Grading: "Will the proposed grading be designed to minimize removal of:

- i. Existing street trees
- ii. Any California Bay Laurel, coast Live Oak or California Buckeye trees;
- iii. Three or more trees of any species on the same site having a circumference of at least 30 inches measured 24 inches above grade?"

The proposed grading would not include removal of existing street trees, protected or large trees.

Attachments:

- Draft Resolution with Findings and Conditions of Approval
- Table 1 Project Description
- Aerial of Site Vicinity
- Applicant's Statement
- Applicant's Plans
- Applicant's Colors & Materials Samples
- Photo Study
- Adjacent Site - Site Plan for 88 Thomas Ave
- Historical documents- HCP-1-05 Conditions, ER-1-05 Mitigation Measures and Mitigated Negative Declaration

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EXHIBIT A

Action Taken: Conditionally approve Design Permit DP-1-13 and Grading Permit EX-1-13 per the staff memorandum with attachments, via adoption of Resolution DP-1-13/EX-1-13.

Findings:

- A. The building's placement, height, bulk and landscaping will preserve those public views of the San Bruno Mountain State and County Park as seen from the community park and from the Bay Trail along the Brisbane Lagoon and Sierra Point shorelines that are found to be of community-wide value.
- B. The proposed development is consistent with the General Plan, as detailed in the agenda report.
- C. The proposal's scale, form and proportion, are harmonious, and the materials and colors used complement the project.
- D. The orientation and location of buildings, structures, open spaces and other features integrate well with each other and maintain a compatible relationship to adjacent development.
- E. Proposed buildings and structures are designed and located to mitigate potential impacts to adjacent land uses.
- F. The project design takes advantage of natural heating and cooling opportunities through building placement, landscaping and building design to the extent practicable, given site constraints, to promote sustainable development and to address long term affordability.
- G. The site plan minimizes the effects of traffic on abutting streets through careful layout of the site with respect to location, dimensions of vehicular and pedestrian entrances and exit drives, and through the provision of adequate off-street parking.
- H. The site provides open areas and landscaping to complement the buildings and structures. Landscaping is also used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy. Landscaping is generally water conserving and is appropriate to the location.
- I. The proposal takes reasonable measures to protect against external and internal noise.
- J. Consideration has been given to avoiding off-site glare from lighting and reflective building materials.
- K. Attention is given to the screening of utility structures, mechanical equipment, trash containers and rooftop equipment.

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RESOLUTION DP-1-13/EX-1-13  
A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING DESIGN PERMIT DP-1-13 AND  
GRADING PERMIT EX-1-13  
FOR A SINGLE-FAMILY RESIDENCE  
AT 8 THOMAS AVENUE

WHEREAS, Mahn Quach, the applicant, applied to the City of Brisbane for Design Permit and Grading Permit approval of a single-family residence at 8 Thomas Avenue; and

WHEREAS, on October 10, 2013, the Planning Commission conducted a hearing of the application, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, the plans and photographs, the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, a Mitigated Negative Declaration was approved for the project on September 22, 2005 and the proposed redesign of the house is not a substantial change that would involve new significant environmental effects or substantially increase the severity of previously identified effects, consistent with State CEQA Guidelines Section 15162(a); and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein as Exhibit A in connection with the Design Permit.

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of October 10, 2013, did resolve as follows:

Design Permit Application DP-1-13 is approved per the conditions of approval attached herein as Exhibit A.

City Engineer issuance of Grading Permit EX-1-13 is recommended by the Planning Commission to allow the house to be lowered into the hillside in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this tenth day of October, 2013, by the following vote:

AYES:

NOES:

ABSENT:

ATTEST:

CAROLYN PARKER  
Chairperson

JOHN A SWIECKI, Community Development Director

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**Conditions of Approval:**

Prior to issuance of a Building Permit:

1. An application including detailed building plans, application forms and fees shall be submitted to the City for issuance of a Building Permit. The building shall be required to comply with all applicable state codes and applicable City of Brisbane Municipal Code provisions for new construction.
2. The plans submitted for a Building Permit approval shall meet all of the zoning district development regulations, including no more than 4,244 sq ft of lot coverage (25% lot coverage). It also shall not exceed the heights shown in this design permit application (maximum roof ridge height of 189.0 ft) and shall not extend into any required setback area, including that 20 ft HCP setback required along the exterior side and rear setbacks for habitat corridors.
3. An encroachment permit shall be obtained prior to any work within the public right-of-way.
4. Grading, paving and drainage plans, including details for any widening of the street per Brisbane Municipal Code Sections 12.24.010 & 15.08.140, shall be submitted for approval by the City Engineer prior to the issuance of a building permit. Drainage shall comply with the National Pollutant Discharge Elimination System (NPDES) permit issued by the San Francisco Bay Regional Water Control Board. The property owner(s) shall be responsible for ongoing operation and maintenance of any permanent structural stormwater controls.
5. Within the limits of prolongation of the 8 Thomas Avenue property lines, the applicant shall submit plans with the Building Permit application to create new or upgrade existing curb, gutter and sidewalk on both San Bruno and Thomas Avenues to current City and ADA standards as required by the City Engineer.
6. The final detailed landscaping plans shall be submitted for approval by the Community Development Director and plans shall be consistent with the Water Conservation in Landscaping Ordinance (BMC Section 15.70). The final landscape plans shall include that portion between the lot and the sidewalk, within the public right-of-way (ROW), along San Bruno Avenue. All landscaping within the public right-of-way shall also be subject to the approval of the City Engineer.
7. The design and specifications on the fence, paving materials, retaining wall and other landscape materials shall be provided as part of the final landscape plan, for Community Development Director approval. The fence surrounding the property shall be steel, with a height not exceeding 6 ft, with an open pattern to allow butterfly migration through.

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8. The design specifications for the interior courtyard shall be subject to review and approval by the Community Development Director. It shall not include trees or other objects that would extend beyond the height of the roofline at maturity.
9. The property owner shall enter into a standard landscape maintenance agreements with the City for landscaping within both the public right-of-way and within the property, to the satisfaction of the City Attorney.
10. The applicant shall comply with all applicable state and City stormwater requirements prior to issuance and during the performance of the building permit, including but not limited to the following:
  - a. Consistent with the state's C.3.i stormwater provisions (individual single family home projects that create and/or replace 2,500 square feet or more of impervious surface) and as indicated in the stormwater form completed by the applicant and as shown in the plans, the project will:
    - Direct roof runoff onto vegetated areas.
    - Direct runoff from walkways and/or patios onto vegetated areas.
    - Construct walkways and patios with permeable surfaces.
  - b. On-site storm drain inlets shall be clearly marked with the words "No Dumping! Flows to Bay," or equivalent using thermoplastic material or a plaque.
  - c. Air conditioning condensate shall drain to landscaping, or alternatively may be connected to the sanitary sewer system, subject approval by the City Engineer.
  - d. Any interior floor drains, shall be connected to the sanitary sewer system, subject to approval by the City Engineer.
  - e. Fire sprinkler test water shall be discharge to onsite vegetated areas, or, alternatively shall be discharged to the sanitary sewer system, subject to approval by the City Engineer.
  - f. No architectural copper shall be used for this project, except by prior Community Development Director approval to confirm that use and/or preparation of the materials is consistent with the state water board stormwater requirements and that the specific use of copper is consistent with the design permit.
10. Rain cisterns shall be located underground to eliminate their visual impacts.
11. Plans shall include sectional roll-up garage doors with automatic openers and with manual release mechanism.
12. Plans shall include automatic opener for the entry gate and the gate shall be located so that it does not prevent a standard sized vehicle from pulling completely off San Bruno Avenue (at

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least 18 ft from the right-of-way). The gate plans shall be subject to review and approval by the Fire Dept. to ensure that emergency access will be maintained.

13. If solar panels are to be installed they shall be installed to be low profile to the roof and located so as to minimize view impacts, subject to Community Development Director approval. At his discretion, the Community Development Director may refer a solar installation to the Planning Commission as a design permit revision.
14. Prior to the issuance of a Building Permit and subject to the approval of the City Attorney, the property owner shall execute an agreement including a covenant running with the land and enforceable by the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.
15. Prior to issuance of a Building Permit the property owner shall execute a Declaration of Restrictions regarding the status of the interior courtyard.

During Construction:

16. Prior to commencing site activities a Site Activity Review permit shall be obtained from the County for work within the San Bruno Mountain HCP.
17. Prior to foundation construction, a surveyed plot plan and staking plan shall be submitted to the City Building and Planning Departments.
18. Grading shall not extend into the native landscape areas approved per the HCP Operating Program (beyond the east and south side of the originally proposed building footprint as described in the Initial Study and recommended for approval by the U.S. Fish & Wildlife Service).
19. The project shall comply with the stormwater Best Management Practices, as provided in the applicable state regulations and included in the applicant's stormwater checklist for Small Projects.
20. Any prehistoric Native American cultural resources found during the course of construction shall be conserved in accordance with State and Federal requirements (Appendix K of the State CEQA Guidelines).

Prior to Occupancy:

21. Prior to certificate of occupancy the applicant shall demonstrate conformance with all of the above design permit conditions of approval.
22. All landscaping shall be installed, including that proposed in the public right-of-way.
23. House numbers shall be affixed to the building at a location visible from the street and a size subject to approval by the Fire Dept.

G.1.15

24. Mail boxes shall be provided at a location and design subject to Community Development Director approval.

Other Conditions:

25. The conditions of approval for Habitat Conservation Plan Compliance HCP-1-05, approved on October 13, 2005, and the mitigation measures included in Environmental Review ER-1-05, approved on September 22, 2005, shall remain in effect.
26. The required garage parking spaces shall not be used or converted to any other use that would impair their basic use as parking for motor vehicles per Brisbane Municipal Code Section 17.34.020.A.
27. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Municipal Code.
28. The permittee agrees to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside, modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts or determinations taken done or made prior to the granting of such approval, permit or entitlement.
29. This Design Permit shall expire two years from its effective date (at the end of the appeal period) if a Building Permit has not yet been issued for the approved project.

G.1.16

G.1.101



**Table 1**  
**Project Description**  
**8 Thomas Avenue**

<b>Site Description</b>	Residential: 0-2 dwelling units per acre
<b>General Plan Designation:</b>	R-BA Brisbane Acres Residential
<b>Zoning:</b>	16,978.7 sq. ft.
<b>Lot Area:</b>	Odd Shaped Lot (122 ft wide by 144 ft deep)
<b>Lot Dimensions:</b>	14% +/-
<b>Slope:</b>	None -- Vacant with utilities at the street.
<b>Existing Development:</b>	
<b>Development Standards</b>	<b>Maximums</b> <b>Proposed</b>
<b>Density:</b>	1 unit per 20,000 sq. ft. except this lot established as a legal lot in 1970, via variance. Certificate of compliance granted in 1986. <b>1 unit (i.e.: 1 per 16,978 sq ft)</b>
<b>Lot Coverage:</b>	25% (4,244 sq. ft.)
<b>Floor Area Ratio:</b>	0.72, but not to exceed 5,500 sq ft (0.30 (5,110 sq. ft.))
<b>Height</b>	35 ft (except may be lowered for ridge/line lots via design permit) <b>27 ft</b>
<b>Building Setbacks:</b>	<b>Minimums</b> <b>Proposed</b>
<b>Front - Thomas Ave.</b>	10 ft <b>20 ft</b>
<b>Side - north (interior)</b>	12 ft 3 in <b>15 ft</b>
<b>Side - south (San Bruno Ave.)</b>	12 ft 3 in per BMC, 20 per HCP <b>25 ft</b>
<b>Rear - downslope side</b>	10 ft per BMC, 20 per HCP <b>21 ft 3 in</b>
<b>Setback Exceptions - Deck</b>	
<b>Rear</b>	May extend no closer than 5 ft from the rear lot line butterfly passage
<b>Articulation for outside walls that are greater than 20 ft by 20 ft.</b>	NA - All exterior walls are less than 20 ft in height.
<b>Landscaping</b>	HCP compliant/water conserving <b>HCP compliant/water conserving</b>
<b>Parking</b>	4 total. A minimum of 2 garage spaces, plus 2 uncovered spaces which may be on or off-street. 50% may be compact.
	7 total, including 3 garage spaces plus 4 off street uncovered, 2 of which are outside the fenced enclosure. All are standard size or larger.

G-1.17

G.1.10a

G-1.18

8 Thomas Avenue/Greater Brisbane Aerial



RECEIVED  
JUN 27 2013  
Comm. Dev. Dept. Brisbane

Ken Johnson, Senior Planner  
City of Brisbane, Ca.

Re: Design Review Application DP-1-13  
Single Family Residence  
8 Thomas Avenue

Response to initial Review of Application  
Design Permit Submittal Requirements:

1. This proposal is essentially the same house approved for this parcel in 2007, raising the lower floor two feet by reducing the height of each floor one foot. The roof-line has been simplified with uniform eave and ridge heights. Cement plaster walls are painted the color resembling the native grasses currently dominating the site. Landscaping is defined by the H.C.P., providing over 8,000 s.f. of butterfly habitat, a variety of drought-tolerant native shrubs and trees, a few non-invasive exotic plants, including the guarantee to maintain landscape vitality for seven years. Trees have been selected that will not exceed the ridge height of the house except from the down-hill yard where a few, in 30 years or so, may eclipse it. All are California natives! Providing bird and butterfly habitat, and positioned to mask the mass of the residence, provide contrasting colors, forms and shadows.

The topographic plan was prepared in 2004; apparently the leading edge of the ridge across the parcel has been reduced by approximately five feet, and a rough pad elevation exists at approximately 174.0 ft. The proposal, in order to meet the pre-set goal of a maximum ridge elevation of 187.0 ft., will cut the driveway to 172.0 feet, and the main floor elevation will be 174.2 ft., essentially the elevation everyone recognizes as the existing site elevation. To gain desired floor area, a lower floor is cut into the base of the site providing natural light, ventilation and drainage from the Eastern, downhill face of the structure.

Considering the proposed grading, this structure will exceed the original ridge elevation by only eight feet. Taller trees have been located sparsely at the very lowest elevations of the site. It is anticipated that the views across the site will be minimally impacted and greatly enhanced by the H.C.P.

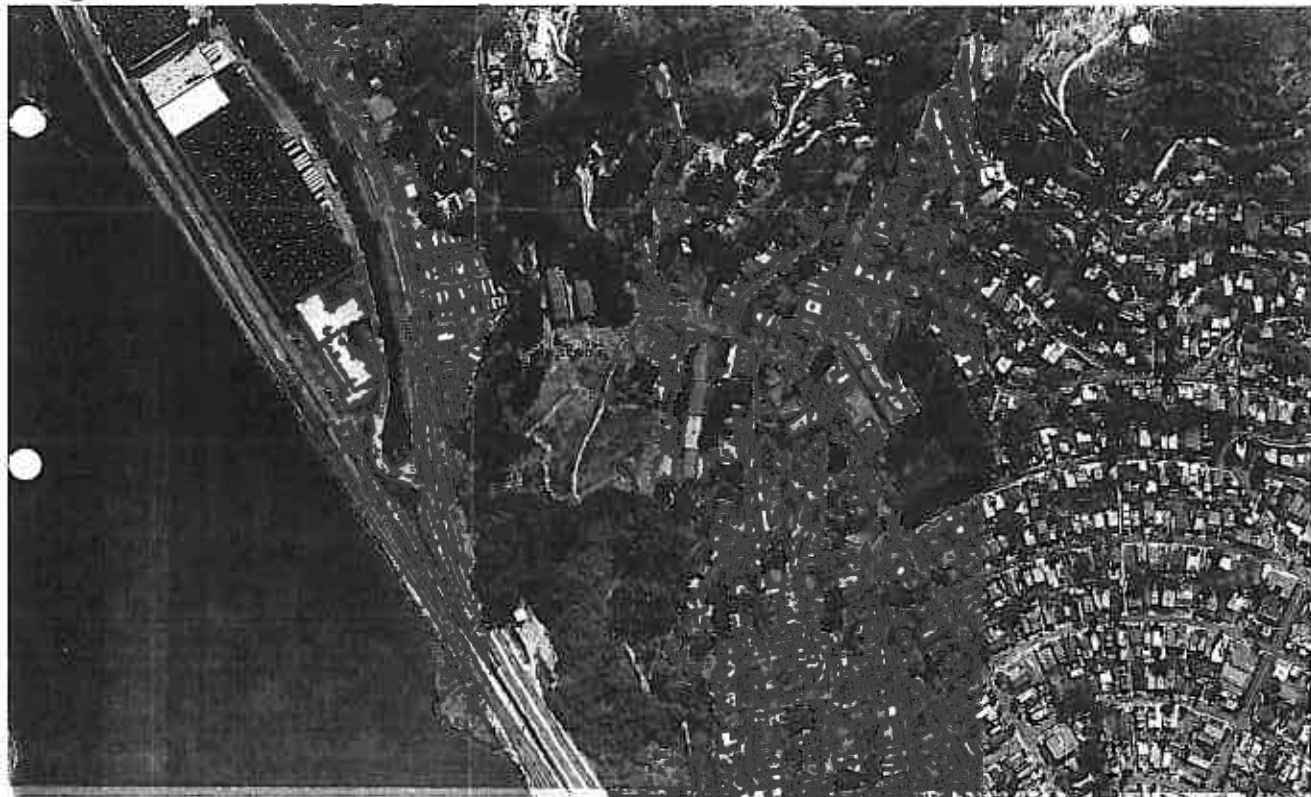
The Project takes into account a strong Southern exposure, central courtyard, and modern energy conserving strategies to promote sustainable development and long-term affordability.

2. When the submittal is deemed complete, we will erect story-poles.
3. The Site Grading Plan is accurate.
4. Owner has clarified the color samples.

G.1.20



8 Thomas Avenue Vicinity Aerial



G.1.103

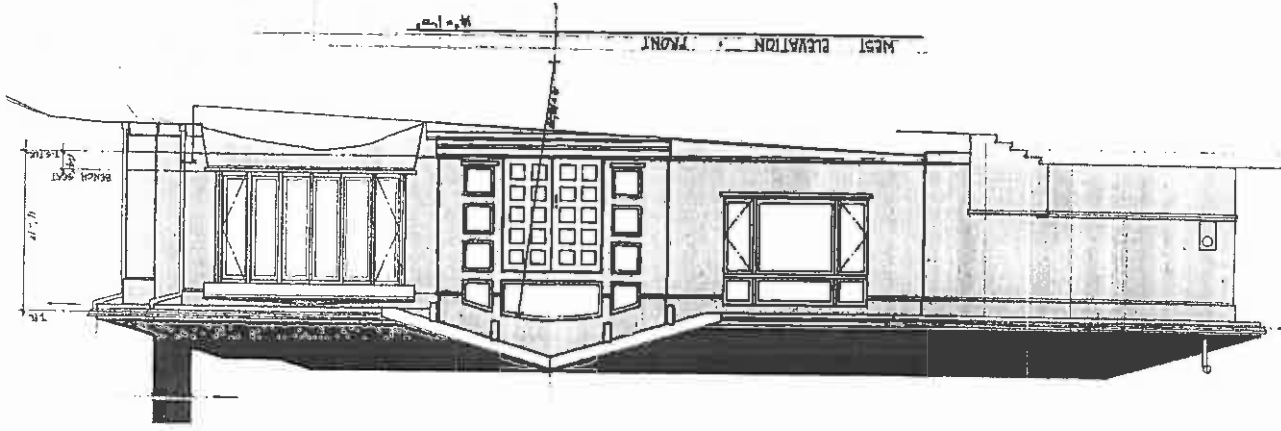
5. The Landscape Plan has been revised based on conversation with neighbors, no tall trees along the Southern yard, and each plant identified, as requested by staff.

**Development Regulations**

- 6. Areas have been calculated according to City standards: lot coverage is less than 25%.
- 7. The Site Plan has been changed to meet current zoning.
- 8. The total floor area is less than the maximum of 5,500 sf.
- 9. It is acknowledged that the proposal includes dedication of property to the City for re-alignment and construction of concrete curb, gutter and sidewalk adjacent to the parcel along Thomas Avenue, through the intersection of San Bruno Avenue where wheel-chair access is to be constructed, and from where the remaining curb, gutter, and sidewalk along San Bruno Avenue will be built of asphalt cement.

If there are any further questions or greater explanations required, I will again do my best to answer them forthrightly.

Sincerely, David Stull



G-1.21

G-1.22

G-1.104

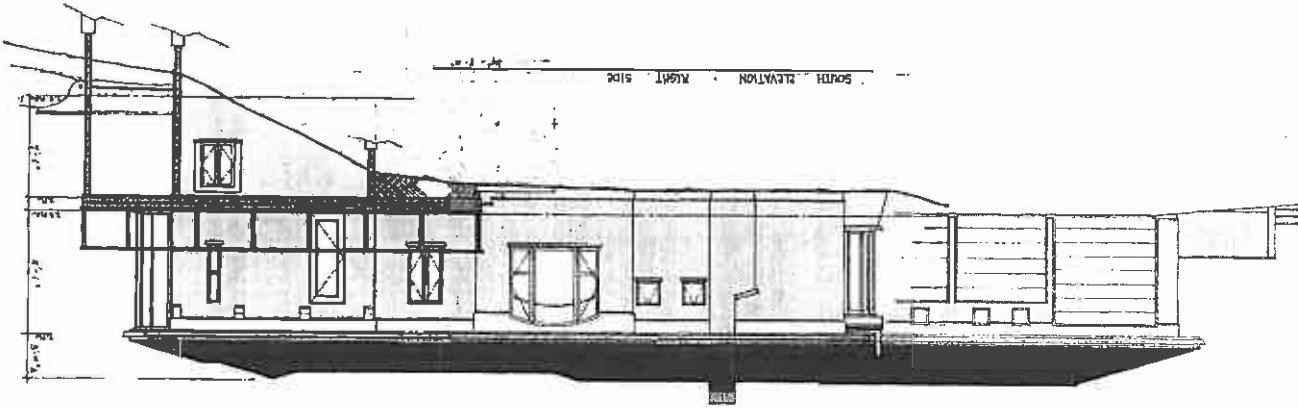
1.01

Comm. Dev. Dept. Brisbane

MAY 15 2013

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G.1.24



G.1.105

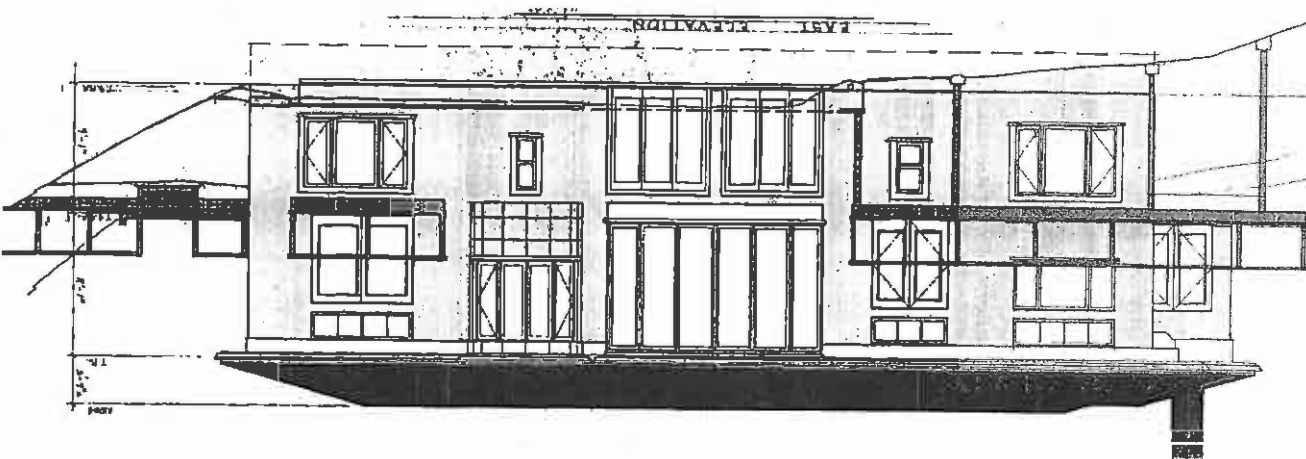
Comm. Dev. Dept. Brisbane

MAY 15 2013

RECEIVED

door (7R0567)

G.1.23

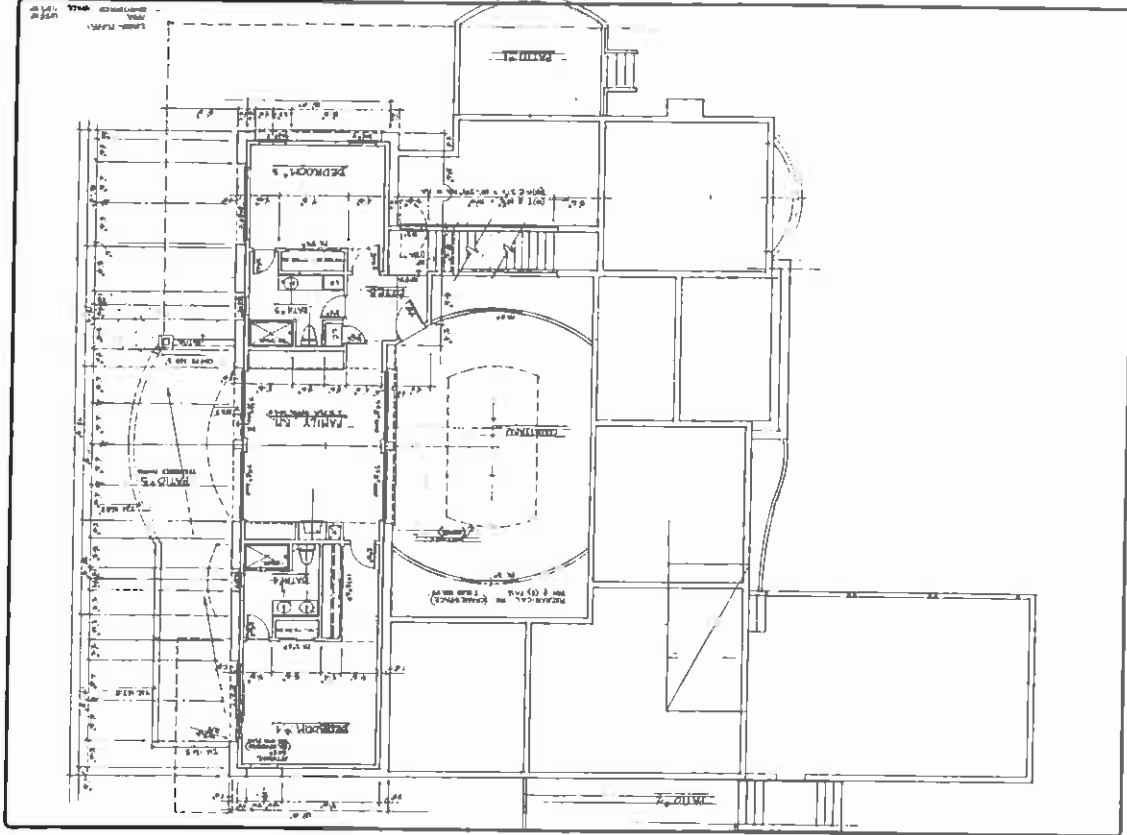






A-3

Quach Residence  
 8 Thomas Avenue  
 Brisbane, California

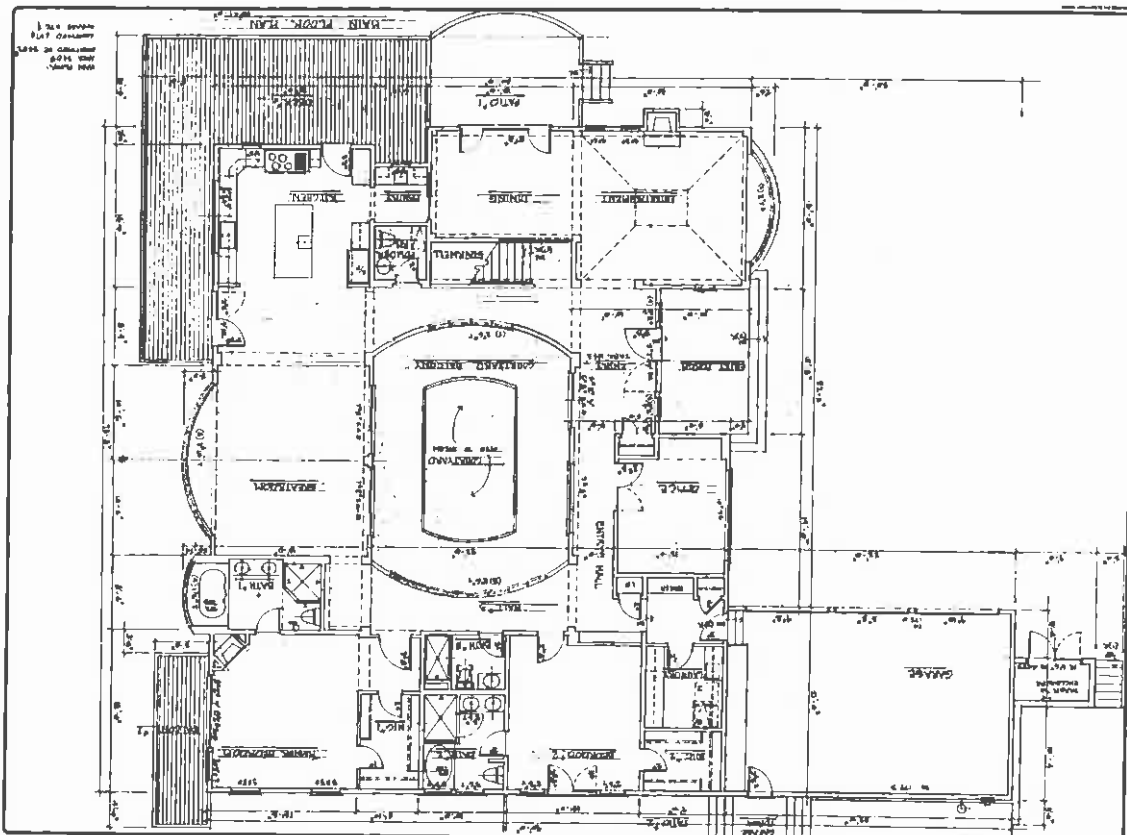



G.1.30

G.1.108

A-3

Quach Residence  
 8 Thomas Avenue  
 Brisbane, California

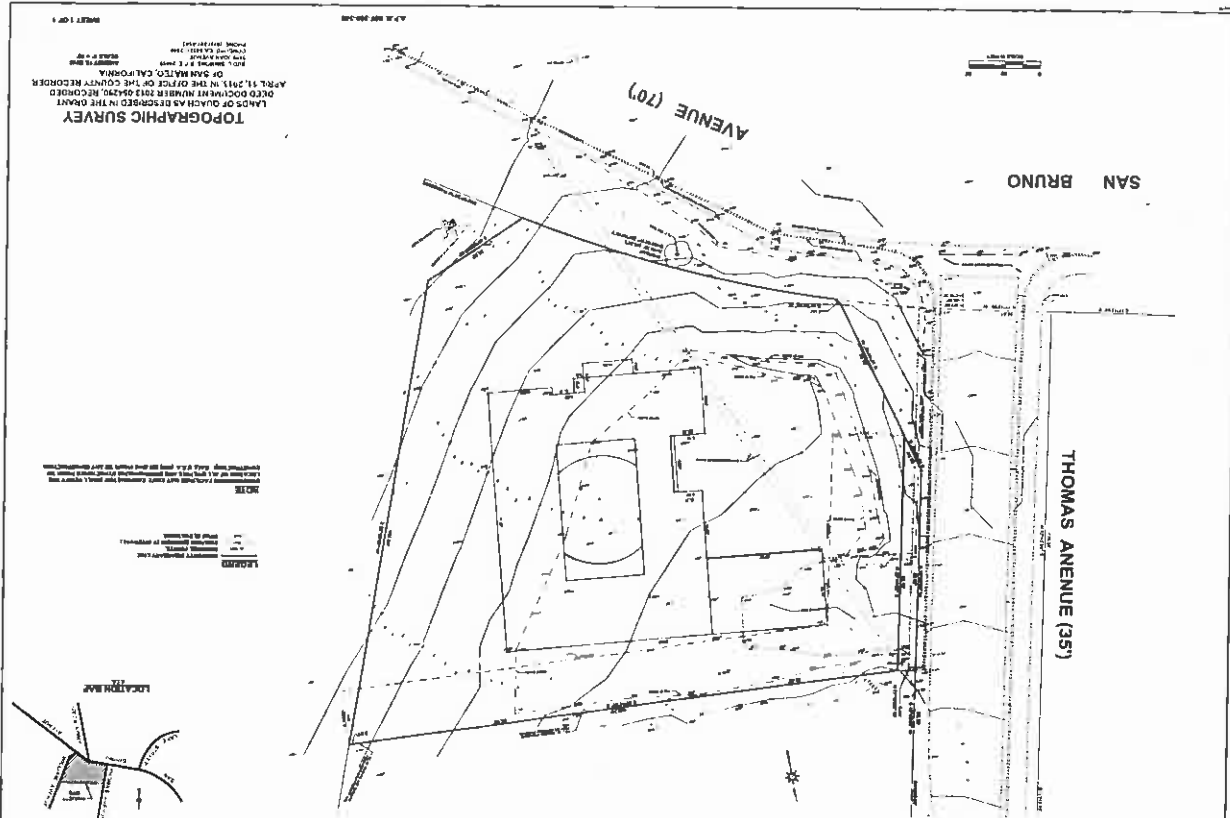



G.1.29



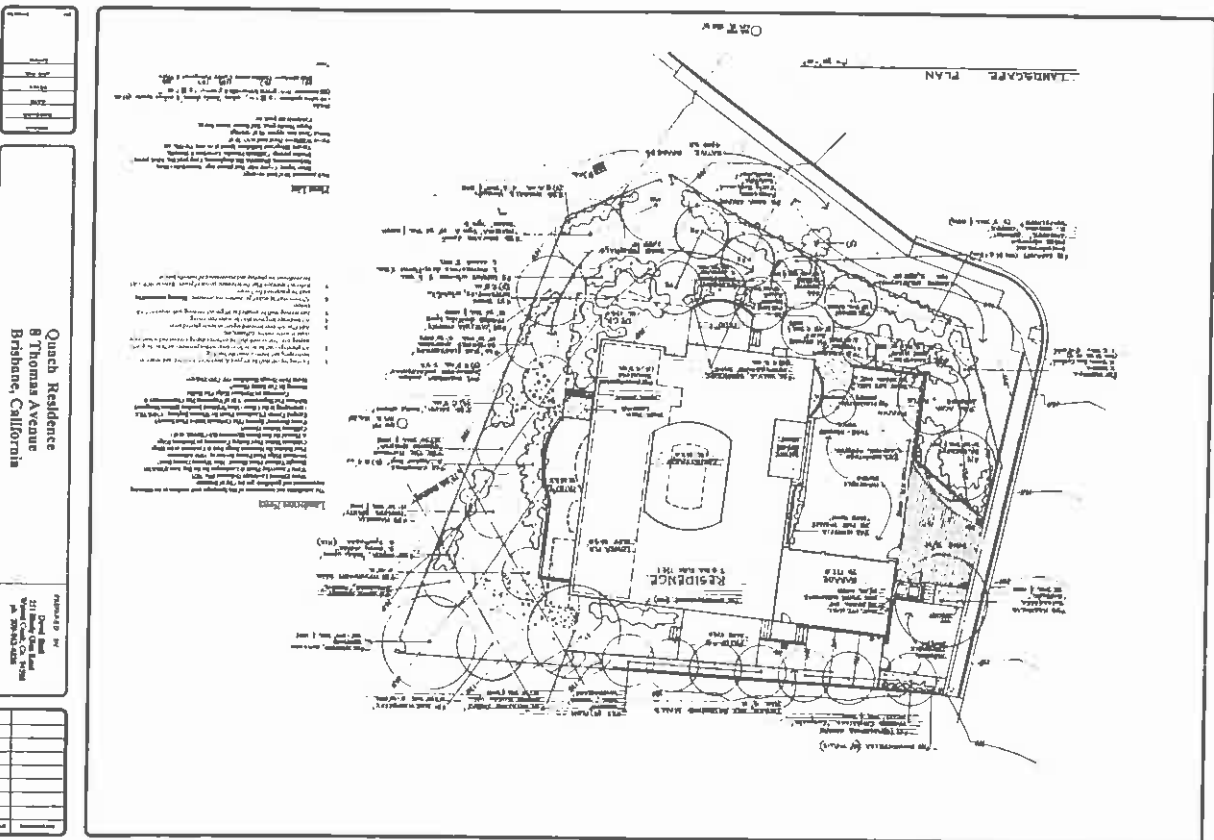






G-1, 36

G.1.111



G-1, 35

Quinn Residence  
 8 Thomas Avenue  
 Brisbane, California

Prepared by  
 2110 Central Express  
 San Francisco, California

**QUACH RESIDENCE**  
 8 Thomas Drive  
 Brisbane, CA.

**MATERIAL BOARD**

**PAINT COLORS:**

Body:  
 Kelly Moore  
 KM5356-3

Eye Of The Tiger L6-14 / 6-4

Trim:

Kelly Moore  
 KMW15-1  
 Bumble Baby LL2-7

Entry Accent:

Kelly Moore  
 KM5725-2  
 San Carlos Plaza LL6-7

**ROOFING:**  
 Lifetime Composite Shingles

GAF Lifetime Timberline Natural Shadow Hickory Shingles

**EXTERIOR FINISH:**

Body:  
 7/8" Cement Plaster  
 Light Dash Finish

Trim:

Plaster over pre-coated foam shapes

Driveway:

Permeable concrete pavers

**WINDOWS:**

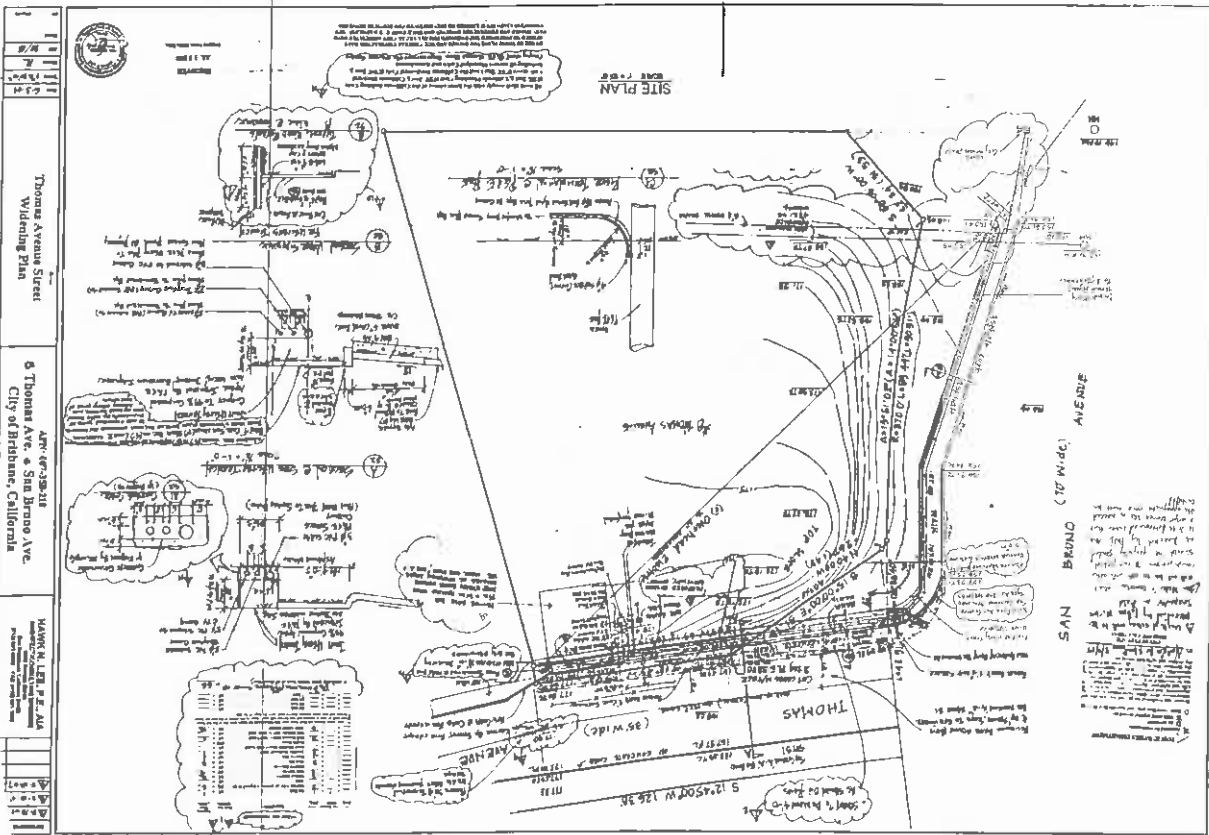
Sash:  
 Anderson, or equal  
 Primed and Painted Wood

Glazing:

Double-glazed low-E2  
 Min. U = 0.39 Max, SHGC = 0.37

G.1.36

G.1.112

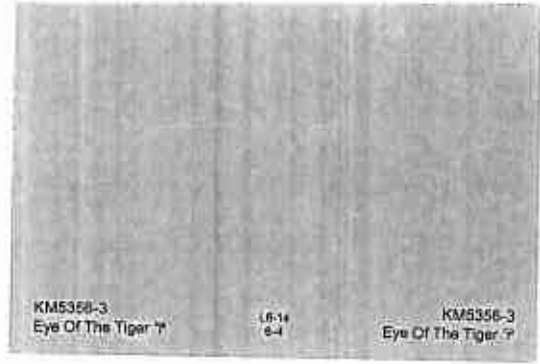


G-1.37

APPROVED FOR THE CITY OF BRISBANE, CALIFORNIA  
 APPLICANT: MARK W. LEE, P.E., AIA  
 PROJECT: 8 THOMAS AVE. & SAN BRUNO AVE.  
 ADDRESS: 8 THOMAS AVE. & SAN BRUNO AVE.  
 WILDLIFE PLAN

# 8 Thomas Ave

Photo Study for  
Design Permit Application DP-1-1-13



G-1-40

G-1-39

G.1-113

KMW15-1  
Bumble Baby

LL2-7

KMW15-1  
Bumble Baby

G.1.114

G.1.42

L0-  
150mm

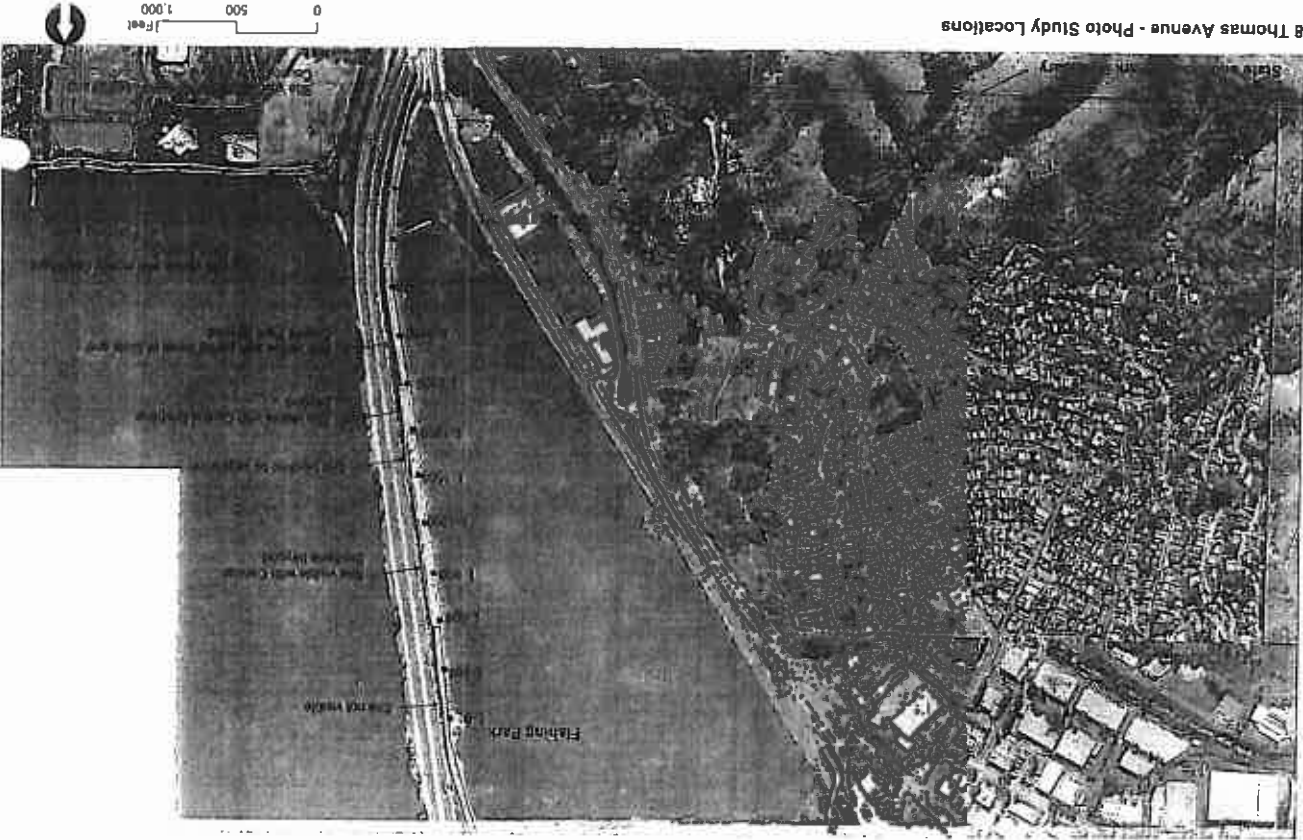


L0-  
40mm



G.1.41

8 Thomas Avenue - Photo Study Locations





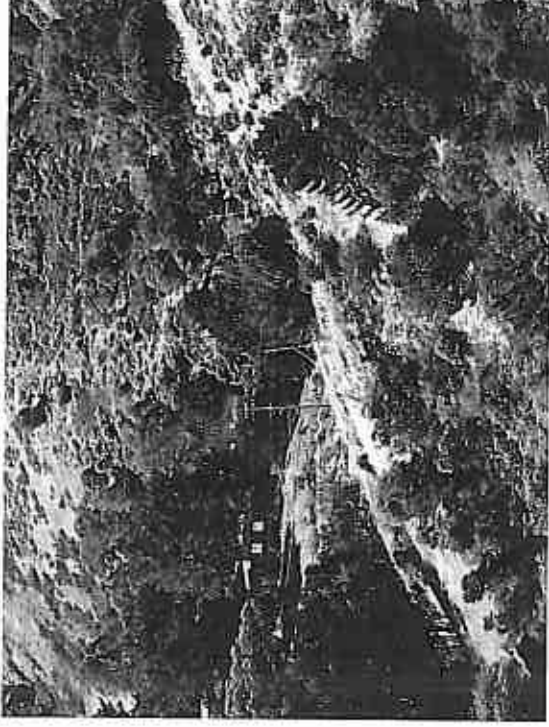
L300-  
40mm



L600-  
40mm



L300-  
150mm



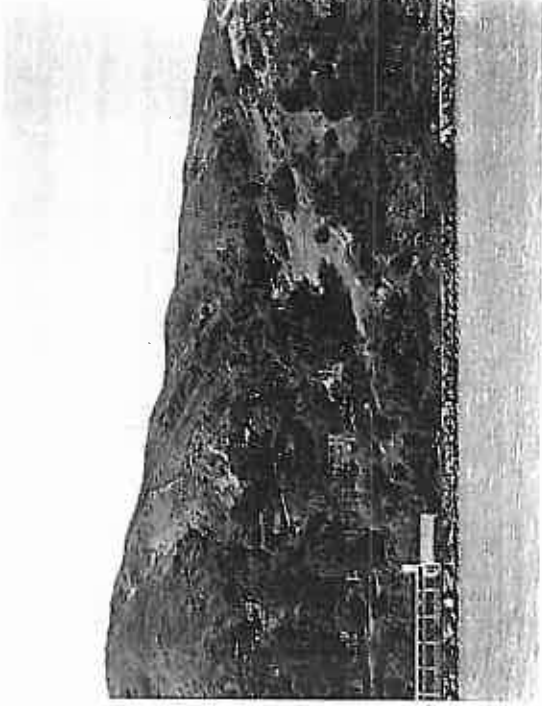
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150mm

G.1.43

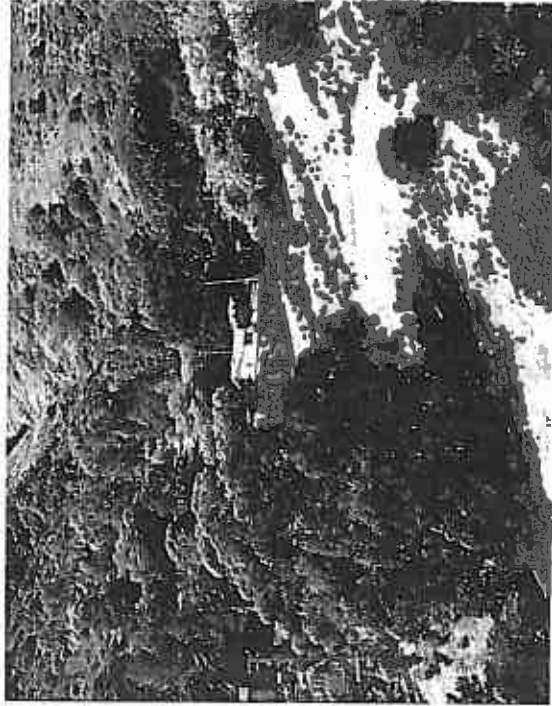
G.1.44

G.1.115

L1200-  
40mm



L1200-  
150mm



G.1.46

L900-  
40mm



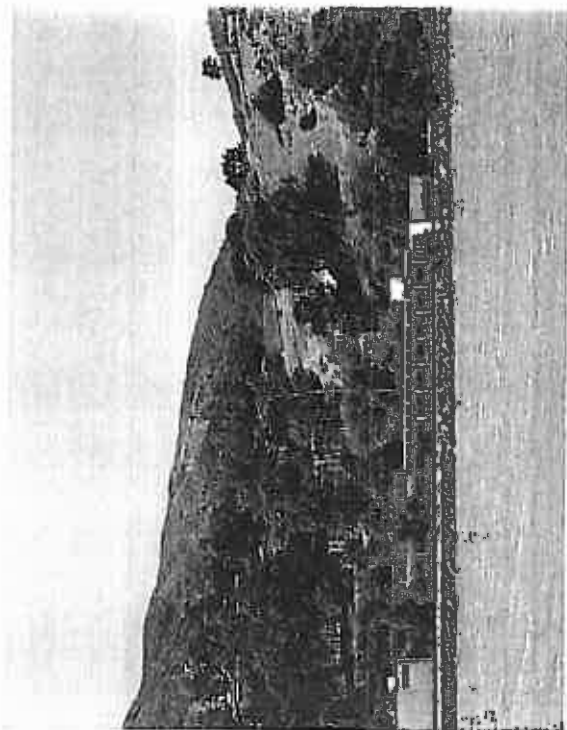
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150mm



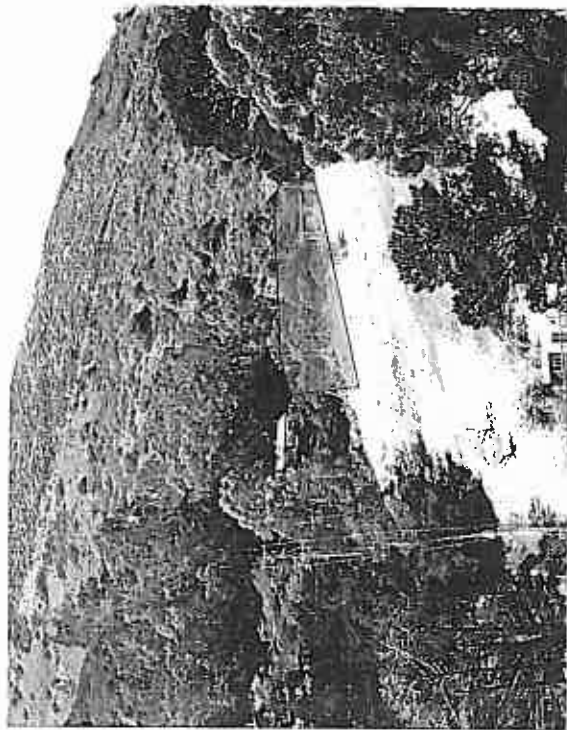
G.1.45

G.1.116

L1800-  
40mm

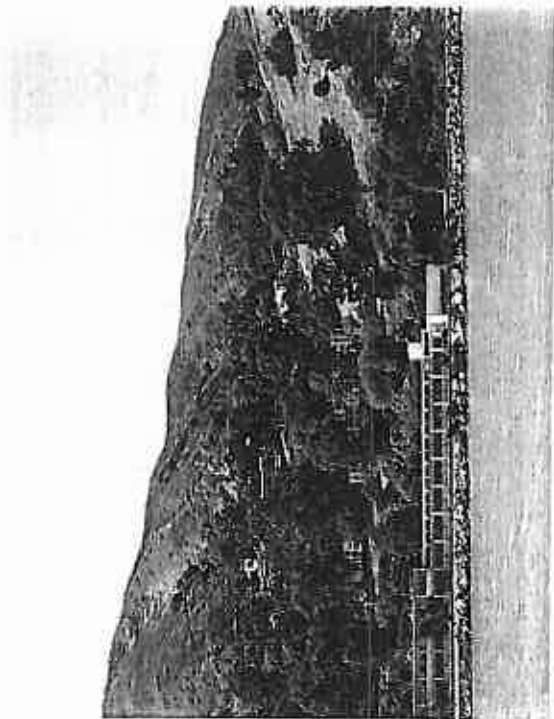


L1800-  
150mm



G.1.48

L1500-  
40mm

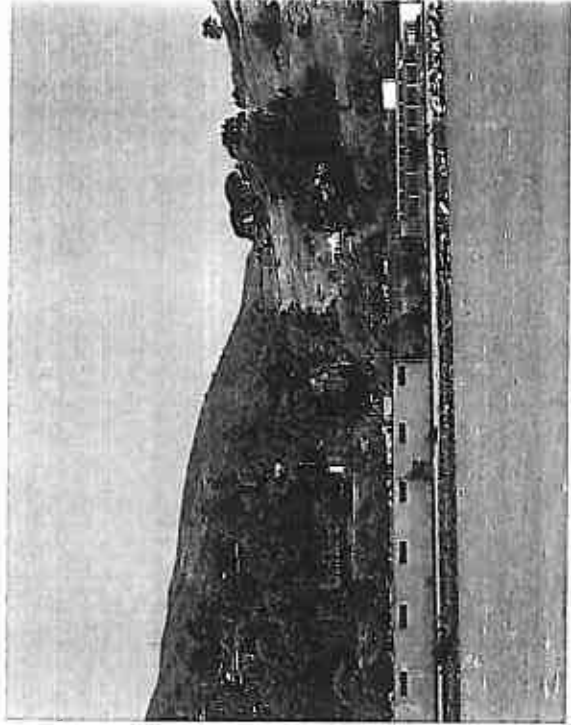


L1500-  
150mm

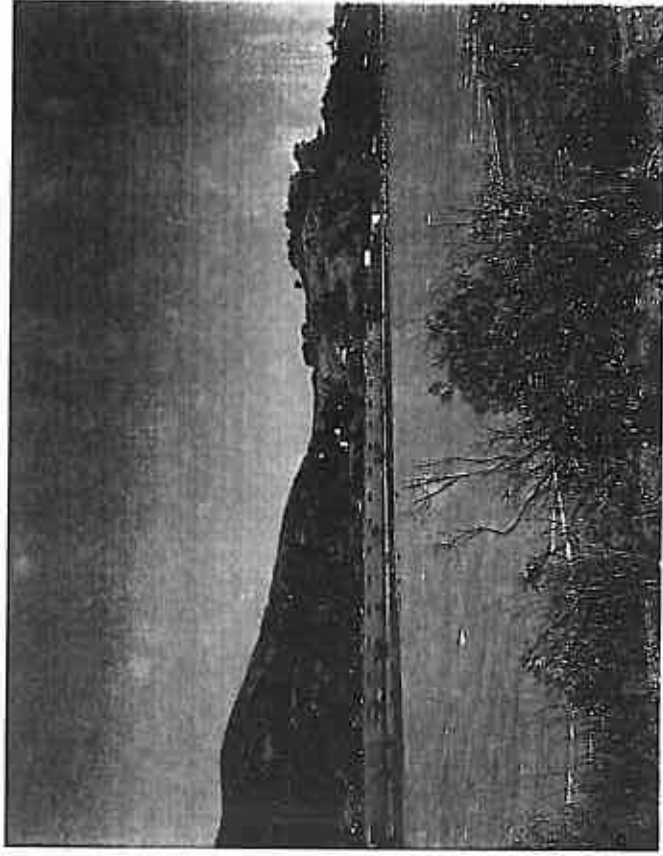


G.1.47





L2100-  
40mm



L2400-  
15mm



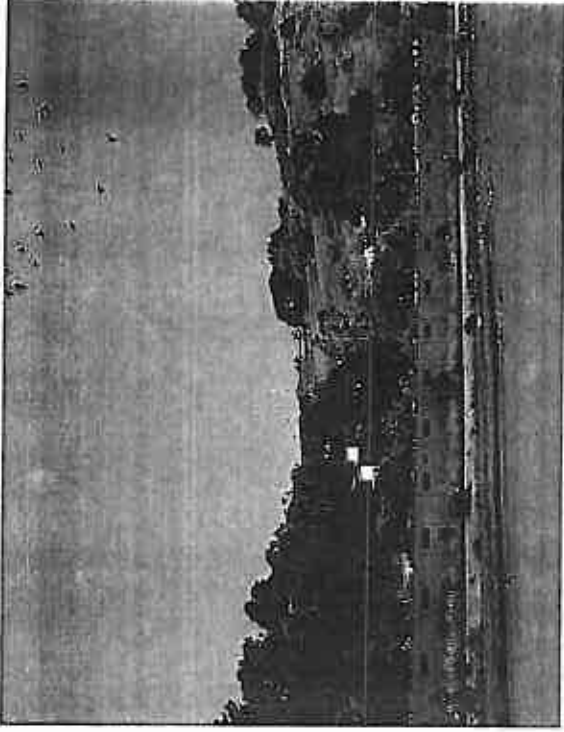
L2100-  
150mm

G.1.49

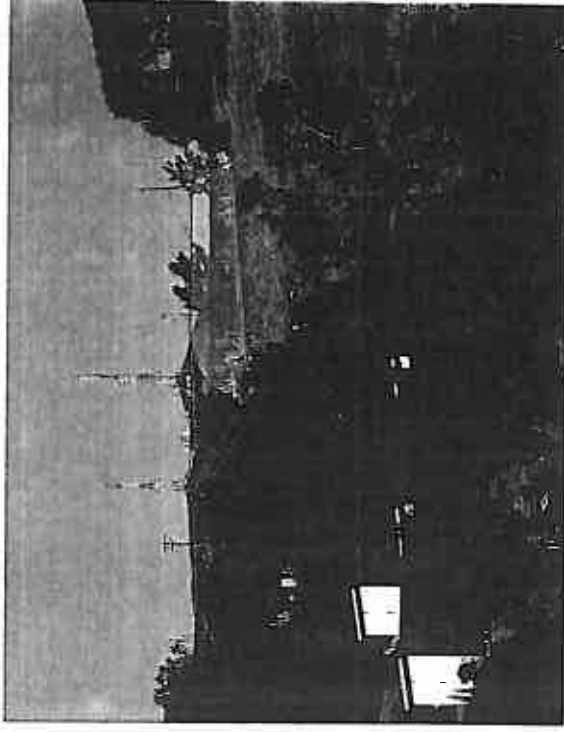
G.1.50

G.1.118

L2700-  
40mm

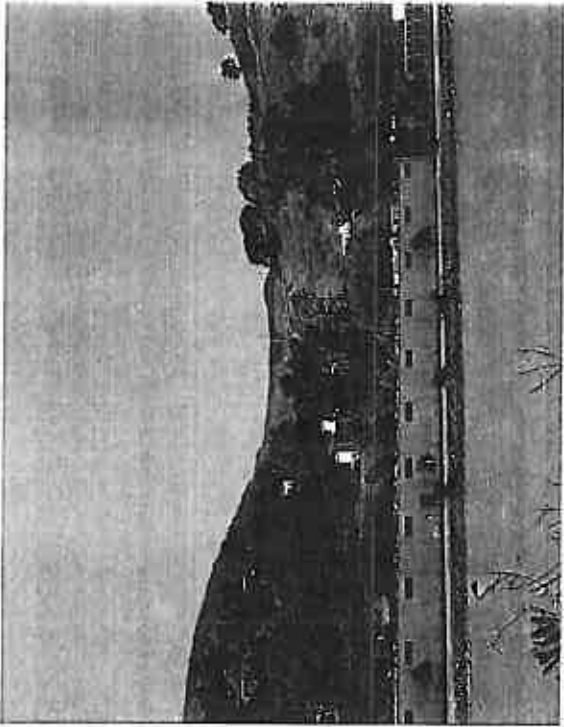


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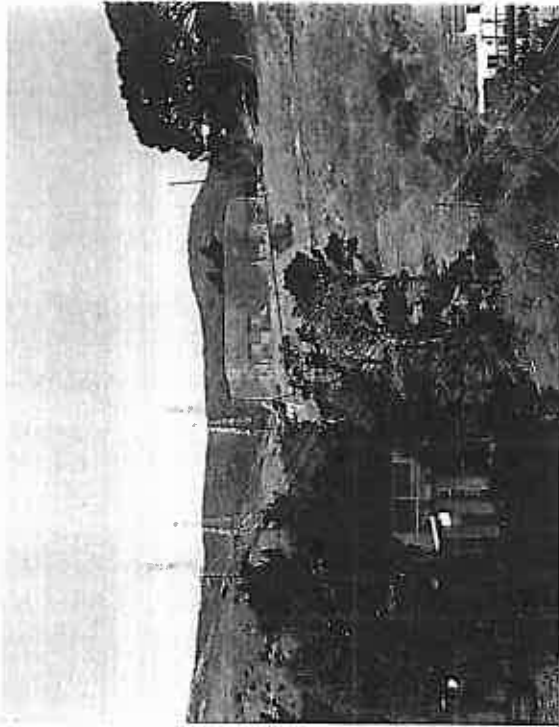


G.1.52

L2400-  
40mm



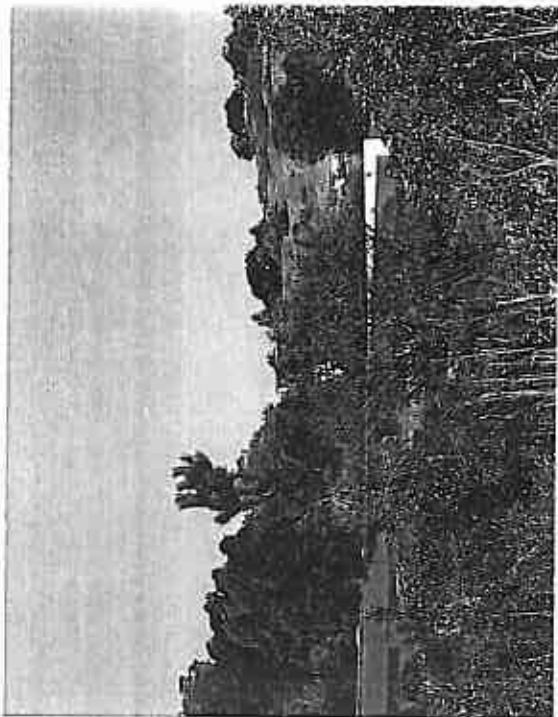
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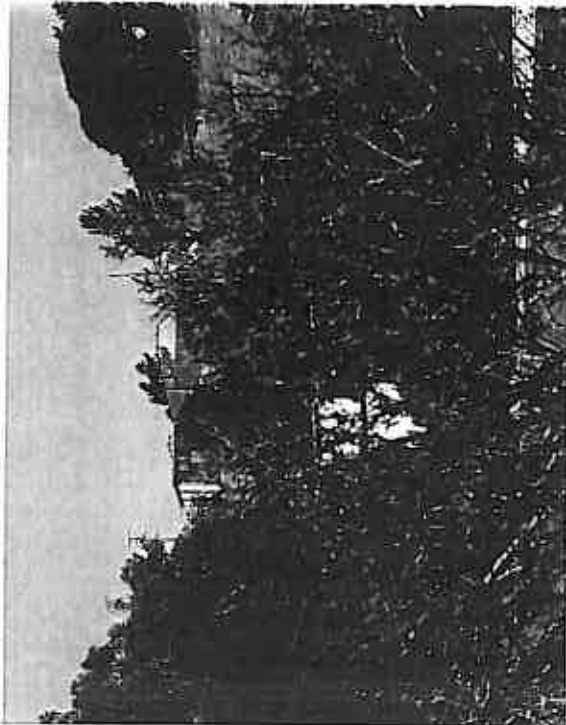
G.1.51

G.1.119

L3300-  
40mm

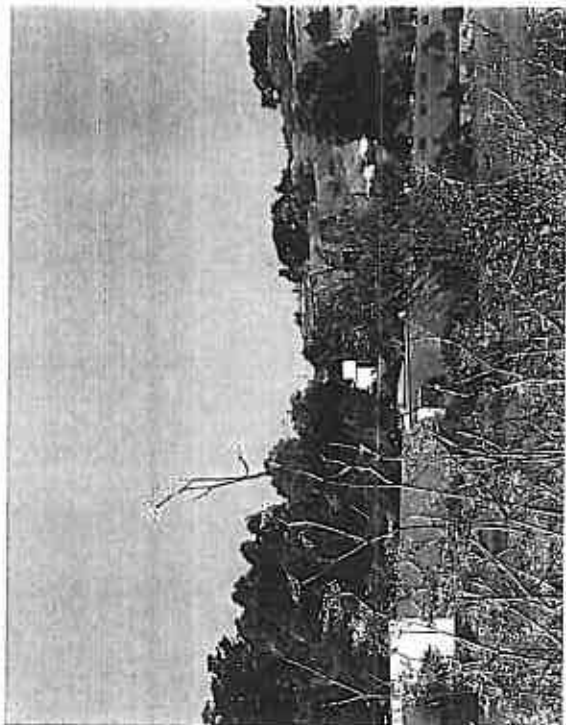


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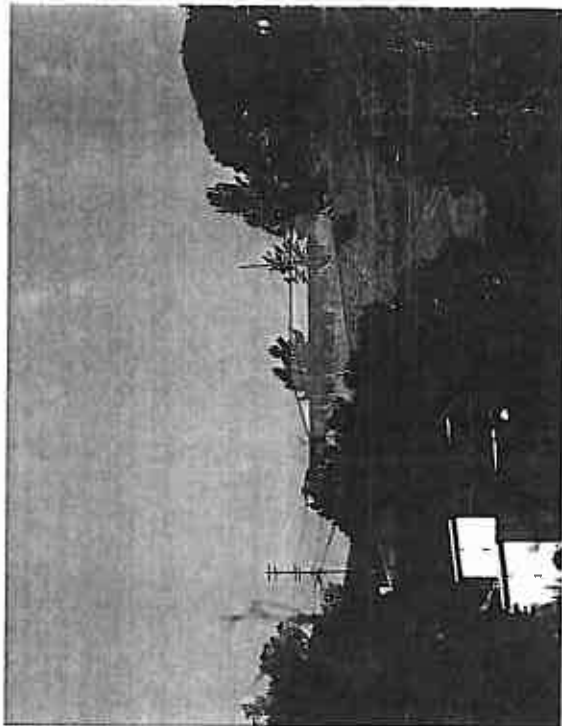


G.1.54

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40mm

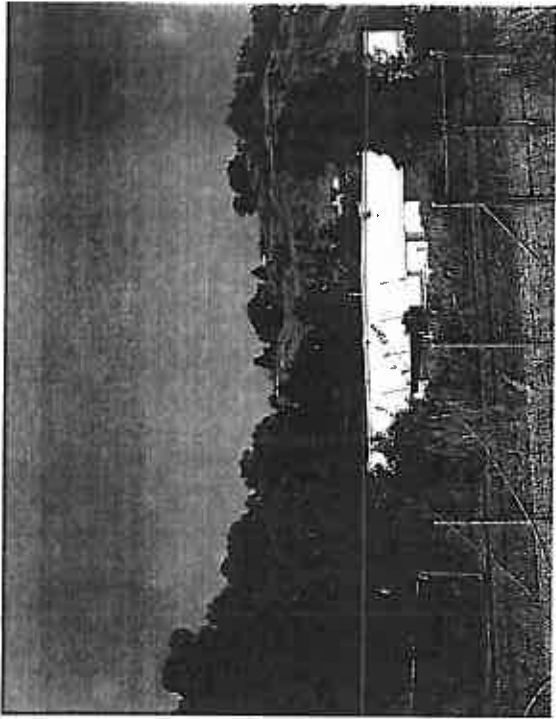


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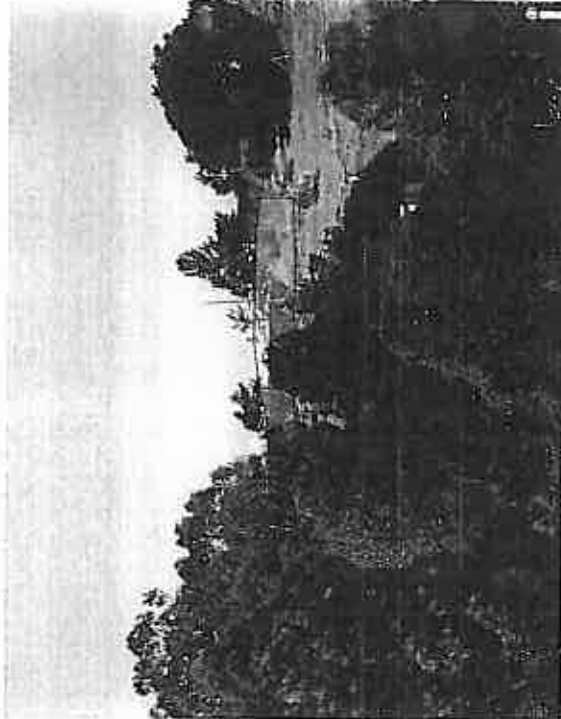


G.1.53

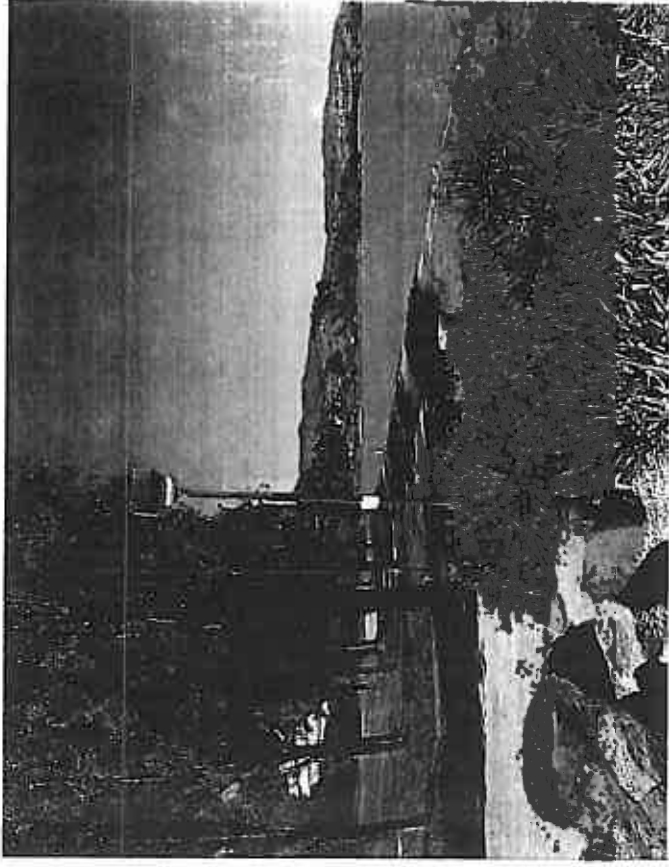
G.1.120



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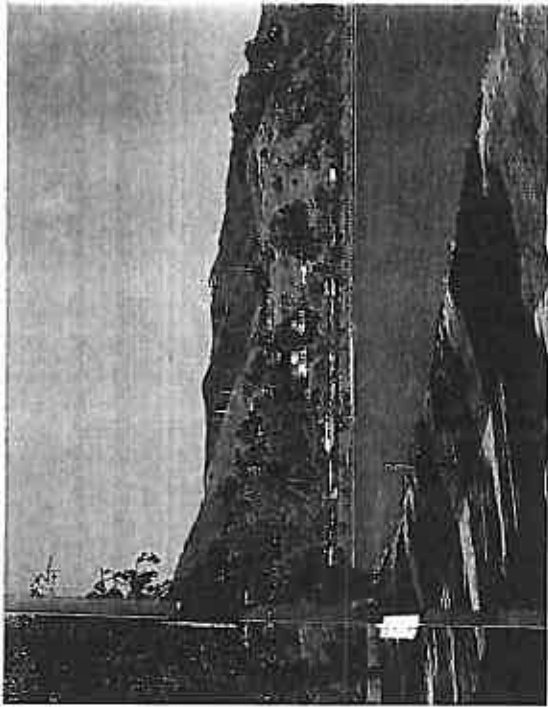
G.1.55



S0-15mm

G.1.56

G.1.121

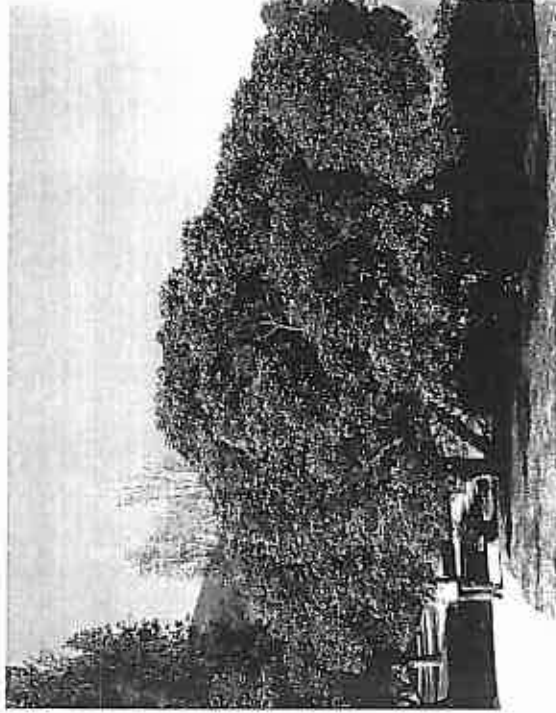


S0-  
40mm



S0-  
150mm

G.1.57

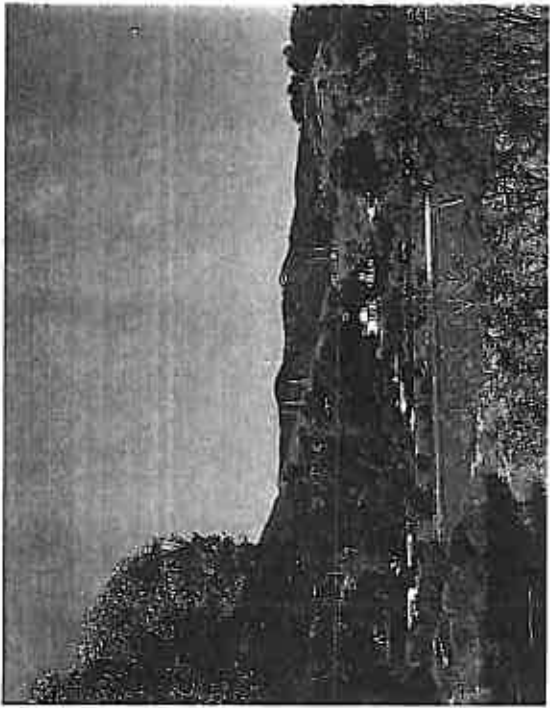


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40mm

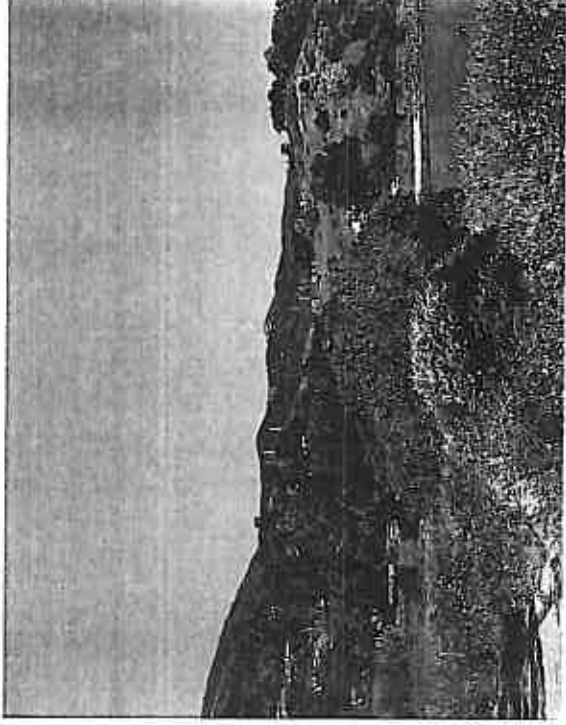
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photo was not taken.

G.1.58

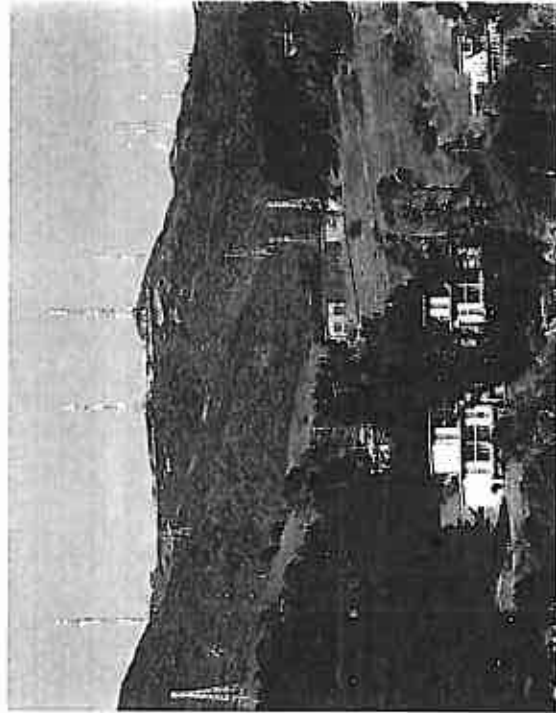
G.1.122



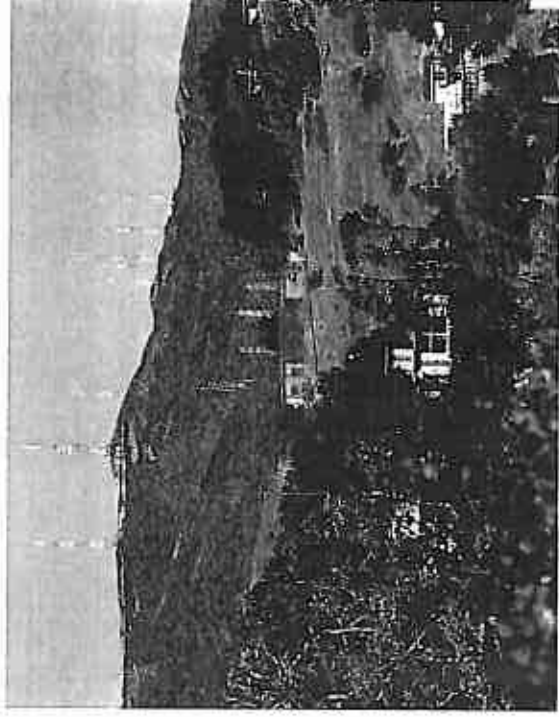
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40mm



S900-  
40mm



S600-  
150mm

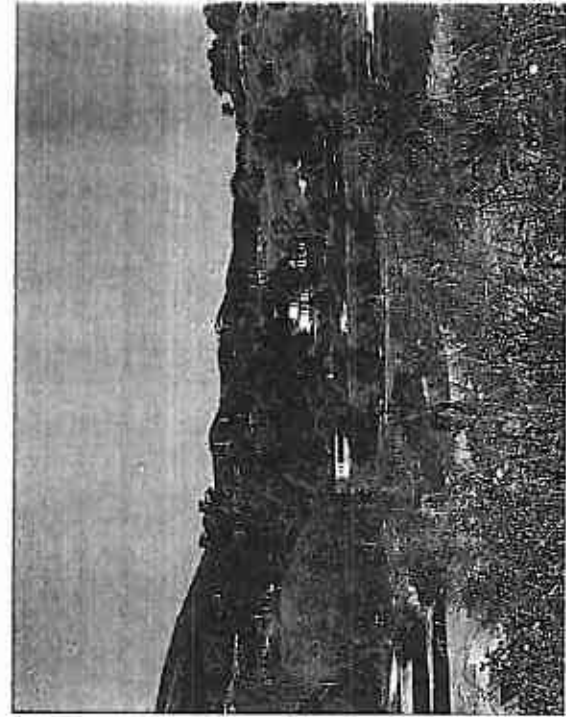


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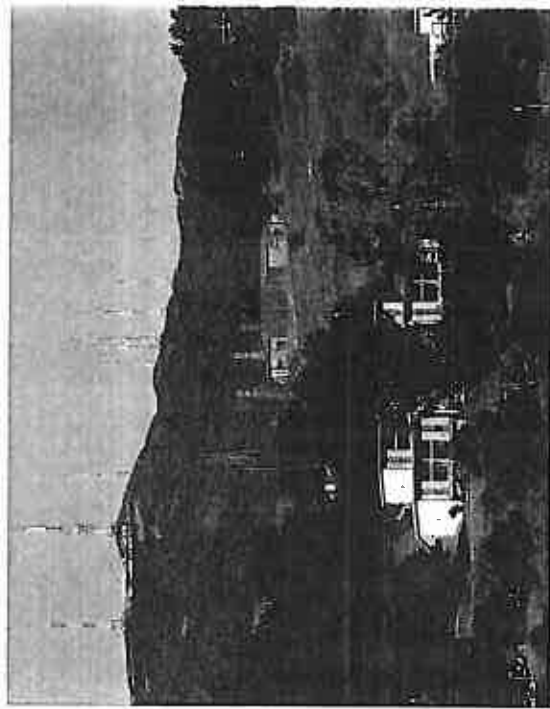
G.1.59

G.1.60

G.1.123

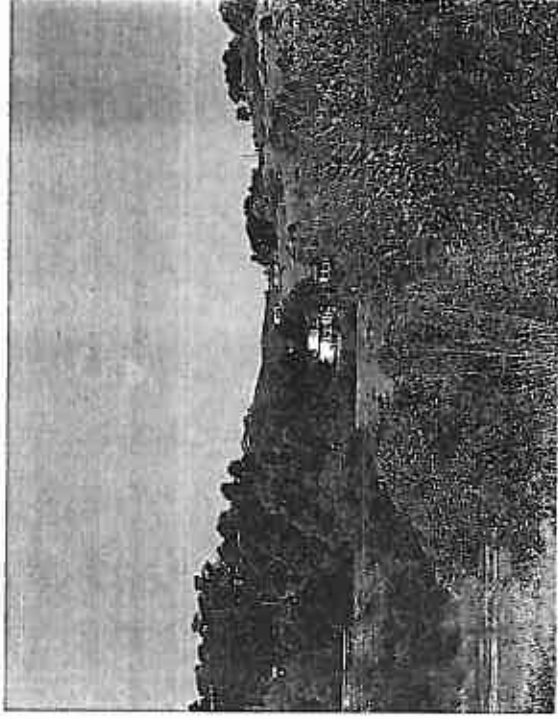


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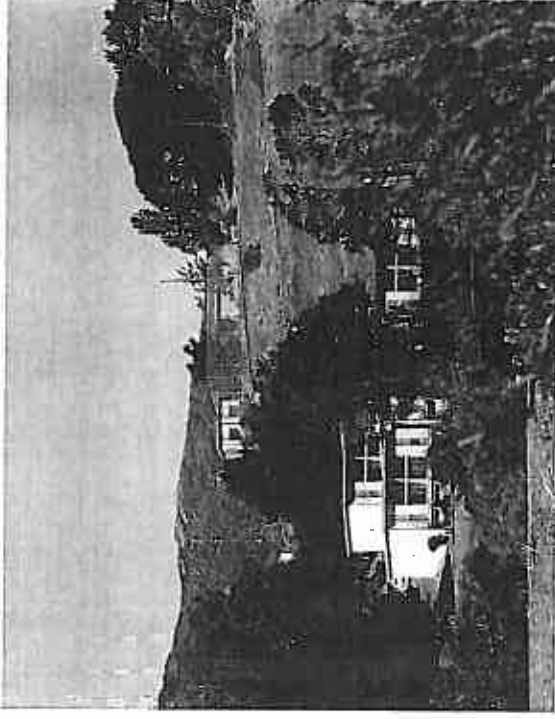


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G.1.61



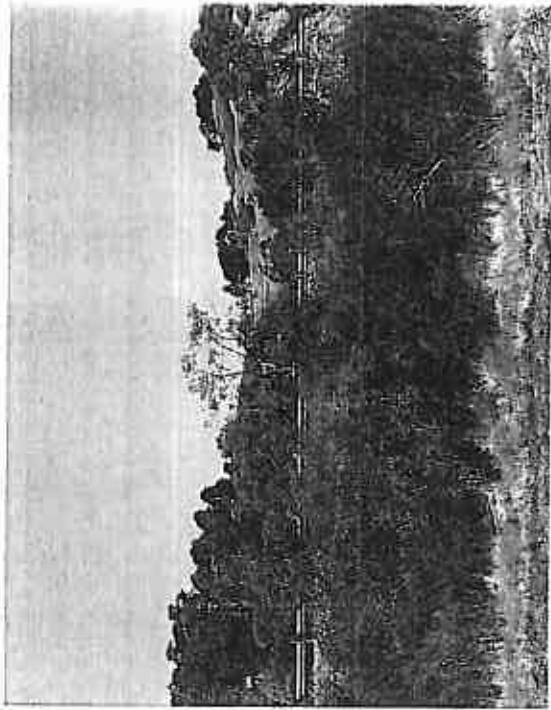
S1800-  
40mm



S1800-  
150mm

G.1.62

G.1.124



S1968-40mm;  
End of  
Paved  
Trail



S1968-150mm

G-1.63

### Background Documents

- Adjacent Property Site Plan - BB Thomas
- S. Thomas Ave HCP-1-05 Conditions
- Mitigation Measures
- Mitigated Negative Declaration

G-1.63

G.1.125



Habitat Conservation Plan Compliance HCP-1-05  
 Grading Permit EX-1-05  
 Approved on 10/13/05

EXHIBIT A

Action Taken: Conditionally approved Habitat Conservation Plan Compliance HCP-1-05 and recommended that the City Engineer issue Grading Permit EX-1-05 per the staff memoranda with attachments, via adoption of Resolution HCP-1-05/EX-1-05.

Findings:

1. The proposed development of the subject property (HCP Administrative Parcel 2-03-17) complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, given the draft Operating Program subject to conditions of approval.

Conditions of Approval:

- A. Upon approval of the project, the applicant shall submit to the City a check for \$1,275.00 made out to the "San Mateo County Clerk" prior to filing of the Notice of Determination with the County (\$1,250 State filing fee under Fish & Game Code Section 711.4(d) and \$25 County handling fee).
- B. The Operating Program for Management Unit 2-03-17 shall be revised as follows:
  1. HCP Funding Program. Upon occupancy of the single-family home, the homeowner shall pay an annual assessment based upon the amount in effect at the time required to be paid by new developments (initial amount not to exceed \$1,000). The annual assessment shall be adjusted for inflation each year thereafter.
  2. All French broom, Striatus broom, fennel, oxalis, bristly ox-tongue, Italian thistle, weedy grasses, Eucalyptus seedlings and saplings, and other invasive plants that pose a threat to butterfly habitat on San Bruno Mountain must be controlled to the satisfaction of the HCP Manager.
  3. The landscape plan shall include native perennial herbs including Mondadella villosa, Salvia spathacea, Dichelostemma, Iris douglasiana, Lomatium and Horkelia californica, generally along the southern and eastern sides of the property, to the satisfaction of the HCP Manager. Butterfly access to these plantings shall be maintained by using only open fencing (no solid wood fencing) and by not planting any trees in the area of these plantings, to the satisfaction of the HCP Manager.
- C. Prior to issuance of a building or grading permit, the property owner shall become a signatory to the San Bruno Mountain Area Habitat Conservation Plan Agreement by signing an "Agreement to Comply with Terms and Conditions of the Agreement with Respect to the San Bruno Mountain Area Habitat Conservation Plan and Section 10(a) Permit" and shall record a Declaration of Covenants and Restrictions per Exhibit G of the

G-1.65

G.1.126

Adjacent Property - 88 Thomas Variance V-5-11 (except)

RECEIVED NOV 25 2005 Planning Dept. Division

NOT FOR CONSTRUCTION A-0.0

INDEX OF DRAWINGS

LOCATION MAP

BUILDING DATA

PROJECT DESCRIPTION

PROJECT TEAM

KEY MAP

APPLICABLE CODES

NO.	DESCRIPTION	DATE	BY
1	FOUNDATION	10/13/05	...
2	FLOOR PLAN	10/13/05	...
3	ELEVATIONS	10/13/05	...
4	SECTION	10/13/05	...
5	DETAILS	10/13/05	...
6	MECHANICAL	10/13/05	...
7	ELECTRICAL	10/13/05	...
8	PLUMBING	10/13/05	...
9	PAINT	10/13/05	...
10	LANDSCAPE	10/13/05	...

G-1.64

Agreement with respect to the San Bruno Mountain Area Habitat Conservation Plan, which shall include the requirement to participate in the HCP funding program.

- D. Low-level exterior lighting shall be used, directed away from adjacent properties and not upward into the night sky.
- E. No highly-reflective glass or other exterior building materials shall be used.
- F. All unpaved access roads, parking areas and construction staging areas shall be paved or have water applied three times daily or have non-toxic soil stabilizers applied. If visible soil material is carried onto adjacent streets, streets swept daily with water sweepers per Bay Area Air Quality Management District construction dust control measures, to the satisfaction of the City Engineer.
- G. In the event of an accidental discovery of human remains or of historical or unique archaeological resources, the protocol established in Public Resources Code Sections 21083.2.(b)-(f) and (i) State CEQA Guidelines Sections 15064.5(d), (e) & (f) shall be followed.
- H. A licensed geotechnical engineer, civil engineer, soils engineer engineering geologist or testing agency shall oversee the project to assure that the geotechnical investigation's recommendations have been properly implemented.
- I. Prior to issuance of a building permit, an acoustical study of the construction plans shall be submitted, indicating how the proposed design will limit exterior noise to 45 dB in any habitable room per California Code of Regulations, Title 24, Appendix Chapter 35 (California Noise Insulation Standards).
- J. Grading on the site shall not extend beyond the east and south sides of the originally proposed building footprint into the originally proposed native landscape areas described in the Initial Study and recommended for approval by the U.S. Fish & Wildlife Service.
- K. Prior to issuance of the building permit, the landscape plans shall be revised to the satisfaction of the Community Development Director per Brisbane Municipal Code Section 17.12.040.K, in consultation with the HCP Manager.
- L. Prior to issuance of the building permit, the applicant shall enter into a standard landscape maintenance agreement with the City modified to the satisfaction of the City Attorney to include requirements for invasive plant control and the replanting of herbaceous perennials as necessary to maintain them in perpetuity, as well as controls on the exterior use of pesticides.

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- M. As approved by the City Engineer in consultation with the HCP Manager, the existing invasive plants within the public right-of-way along the property's frontages on San Bruno and Thomas Avenues and the slopes shall then be winterized.
- N. Prior to issuance of a Certificate of Occupancy, the County of San Mateo Parks and Recreation Division (Ms. Dale Ball) shall be notified in order to begin the annual assessment of San Bruno Mountain Area Habitat Conservation Plan fees, in compliance with the HCP Operating Program for Management Unit 2-03-17.
- O. Prior to issuance of a Certificate of Occupancy, a report on the relative success of the mitigation measures shall be prepared for the Planning Commission's information.
- P. The property owner shall abide by the provisions of the Revised Operating Program for Administrative Parcel 2-03-17, the Habitat Conservation Plan, Habitat Conservation Plan Agreement and Section 10(a) Permit.
- Q. The permittee agrees to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside, modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts or determinations taken, done or made prior to the granting of such approval, permit or entitlement.

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<p><b>Mitigation Measures:</b>          Low-level exterior lighting directed away from adjacent properties and not upward into the night sky. Exclusion of highly-reflective glass and other exterior building materials.          Address in plans to be submitted for Building Permit          Conditions imposed on Building Permit          Community Development Department, Building Inspector  <b>Means/Timing of Reporting:</b>          Regular inspections during construction, and final inspection prior to issuance of Certificate of Occupancy          Brisbane General Plan Program 22e          Stop Work Order (Brisbane Municipal Code Section 15.08.050)/Board of Appeals (California Building Code Section 105)</p>	<p><b>Building Inspector</b>          Regular inspections during construction          Public Resources Code Sections 21083.2.(b)-(f) and (i), State CEQA Guidelines Sections 15064.5(d), (e) &amp; (f)          Stop Work Order (Brisbane Municipal Code Section 15.08.050)/Board of Appeals (California Building Code Section 105)</p>
<p><b>Applicant's Responsibility:</b>          All unpaved access road, parking areas and construction staging areas paved or have water applied three times daily or have non-toxic soil stabilizers applied, and if visible soil material is carried onto adjacent streets, streets swept daily with water sweepers per Bay Area Air Quality Management District construction dust control measures          Implement mitigations during construction          Conditions imposed on Building Permit          Building Inspector, Public Works Department and Bay Area Air Quality Management District  <b>Means/Timing of Reporting:</b>          Regular site inspections during construction          Bay Area Air Quality Management District CEQA Guidelines, Table 2          Bay Area Air Quality Management District violations/appeals procedures</p>	<p><b>Building Inspector</b>          Regular inspections during construction          California Code of Regulations, Title 24, Appendix Chapter 35 (California Noise Insulation Standards)          Stop Work Order (Brisbane Municipal Code Section 15.08.050)/Board of Appeals (California Building Code Section 105)</p>
<p><b>Mitigation Measures:</b>          Acoustical analysis showing that the proposed design will limit exterior noise to 45 dB in any habitable room          Address in plans to be submitted for Building Permit  <b>Applicant's Responsibility:</b>          Means of Enforcement:          Responsible Department:  <b>Means/Timing of Reporting:</b>          Standard for Determining Compliance:          Enforcement Procedures and Appeal:</p>	<p><b>Building Inspector</b>          Conditions imposed on Building Permit          Building Inspector          Consultant's certification prior to issuance of Certificate of Occupancy          Geotechnical investigation per consultant          Stop Work Order (Brisbane Municipal Code Section 15.08.050)/Board of Appeals (California Building Code Section 105)</p>
<p><b>Mitigation Measure:</b>          Acoustical analysis showing that the proposed design will limit exterior noise to 45 dB in any habitable room          Address in plans to be submitted for Building Permit  <b>Applicant's Responsibility:</b>          Means of Enforcement:          Responsible Department:  <b>Means/Timing of Reporting:</b>          Standard for Determining Compliance:          Enforcement Procedures and Appeal:</p>	<p><b>Building Inspector</b>          Conditions imposed on Building Permit          Building Inspector          Regular inspections during construction          California Code of Regulations, Title 24, Appendix Chapter 35 (California Noise Insulation Standards)          Stop Work Order (Brisbane Municipal Code Section 15.08.050)/Board of Appeals (California Building Code Section 105)</p>
<p><b>Applicant's Responsibility:</b>          Means of Enforcement:          Responsible Department:  <b>Means/Timing of Reporting:</b>          Standard for Determining Compliance:          Enforcement Procedures and Appeal:</p>	<p><b>Building Inspector</b>          Conditions imposed on Building Permit          Building Inspector          Regular inspections during construction          California Code of Regulations, Title 24, Appendix Chapter 35 (California Noise Insulation Standards)          Stop Work Order (Brisbane Municipal Code Section 15.08.050)/Board of Appeals (California Building Code Section 105)</p>

Prior to final inspection, a report on the relative success of the mitigation measures shall be prepared, to be forwarded to the Planning Commission for its information.

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# City of Brisbane Environmental Initial Study

**Project title:** HCP-1-05 at 8 Thomas Avenue

**Contact person/Lead agency:** Tim Tune, Senior Planner, Brisbane Community Development Department, 50 Park Place, Brisbane, CA 94005, 415-508-2120, FAX 415-467-5547

**Project location:** 8 Thomas Avenue, Brisbane, San Mateo County, California; APN 007-350-210

**Project applicant:** Nelson Cheung, JK Construction, for Qing-He Zhang

**General Plan designation:** Brisbane Acres 0-2 Dwelling Units per Acre

**Zoning:** R-BA Brisbane Acres Residential District

**Project description:** Construction of an approximately 5,500 sq. ft. single-family residence, subject to a determination of compliance with the Agreement with Respect to the San Bruno Mountain Area Habitat Conservation Plan and the Section 10(a) Permit by the Planning Commission, with associated off-site improvements (concrete sidewalk along the frontages on Thomas and San Bruno Avenues)

**Surrounding land uses and setting:** The approximately 17,235 sq. ft. site is located at the northeast corner of San Bruno and Thomas Avenues. It sits atop a spur ridge line between Firth Canyon and Gladys Ravine at an approximate relative elevation of 220 ft. above mean sea level. The site has been graded as a plateau with an average slope of approximately 10%, although its perimeter slopes more steeply. Vegetation currently on the site includes annual grasses, iceplant and French broom. The property is served by existing utilities. It is surrounded by a single-family house to the north, a vacant lot to the east, a condominium complex to the southeast, a vacant lot to the south, and an apartment building to the west.

**Other public agencies whose approval is required:** Because the project is located within the jurisdiction of the San Bruno Mountain Area Habitat Conservation Plan, it requires approval of an Operating Program, which is subject to 30-day review by the U.S. Fish & Wildlife Service and the California Department of Fish & Game.

**Other environmental reviews referenced herein:** Environmental Impact Report for the City of Brisbane General Plan Update, One Quarry Road Residential Project Draft Environmental Impact Report

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## ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- Aesthetics       Agriculture Resources       Air Quality
- Biological Resources       Cultural Resources       Geology/Soils
- Hazards & Hazardous Materials       Hydrology/Water Quality       Transportation/Traffic
- Public Services       Recreation       Land Use/Planning
- Utilities/Service Systems       Mandatory Findings of Significance

### DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation which reflects the independent judgment of the Community Development Department:

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because mitigation measures have been added to the project (see attached). A **MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or **NEGATIVE DECLARATION** pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or **NEGATIVE DECLARATION**, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature: Tim Tune      Date: 4/27/05  
Tim Tune, Senior Planner, Community Development Department, City of Brisbane

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Potentially Significant Impact

Less Than Significant with Mitigation Incorporated

Less Than Significant Impact

No Impact

**ISSUE**

**I. AESTHETICS: Would the project:**

- a) Have a substantial adverse effect on a scenic vista?
- b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- c) Substantially degrade the existing visual character or quality of the site and its surroundings?
- d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

**II. AGRICULTURE RESOURCES:**

**Would the project:**

Convert farmland to non-agricultural use or otherwise impact agricultural operations?

**III. AIR QUALITY: Would the project:**

- a) Conflict with the Bay Area Clean Air Plan?
- b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?
- c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?
- d) Expose sensitive receptors to substantial pollutant concentrations?
- e) Create objectionable odors affecting a

G.I.71

**ISSUE**

substantial number of people?

**IV. BIOLOGICAL RESOURCES:**  
**Would the project:**

- a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?
- b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?
- c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act through direct removal, filling, hydrological interruption, or other means?
- d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- e) Conflict with the City of Brisbane Tree Regulations, protecting biological resources?
- f) Conflict with the provisions of the San Bruno Mountain Area Habitat Conservation Plan?
- g) Impact wildlife resources pursuant to

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ISSUE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Section 711.4 of the Fish and Game Code?				
<b>V. CULTURAL RESOURCES: Would the project:</b>				
a) Cause a substantial adverse change in the significance of a historical resource?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.) Cause a substantial adverse change in the significance of an archaeological resource?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Impact a unique paleontological resource or site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>VI. GEOLOGY AND SOILS: Would the project:</b>				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Prilo Earthquake Fault Zoning Map for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Seismically-induced landslides?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil as defined in the Uniform Building Code, creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>VII. HAZARDS AND HAZARDOUS MATERIALS: Would the project:</b>				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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ISSUE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
g) Expose people or structures to a significant risk of loss, injury or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>VIII. HYDROLOGY AND WATER QUALITY: Would the project:</b>				
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Alter the existing drainage pattern of the site or area in a manner which would result in substantial on- or off-site erosion or siltation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Alter the existing drainage pattern of the site or area, or substantially increase the rate or amount of surface runoff, in a manner which would result in on- or off-site flooding?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
involving flooding?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>IX. LAND USE AND PLANNING: Would the project:</b>				
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with the General Plan or other applicable City land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with any applicable regulation of an agency with jurisdiction over the project adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Conflict with the San Bruno Mountain Area Habitat Conservation Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>X. MINERAL RESOURCES: Would the project:</b>				
a) Result in the loss of availability of a known mineral resource that would be either locally important or of value to residents of the state and region?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>XI. NOISE: Would the project result in:</b>				
a) Exposure of persons to or generation of noise levels in excess of standards established in the General Plan and/or noise ordinance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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ISSUE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) A substantial temporary or periodic increase in ambient noise levels in the project vicinity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project located within an airport land use plan or in the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>XII. POPULATION AND HOUSING:</b> Would the project:				
a) Induce substantial population growth in an area, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing housing units or persons, necessitating the construction of replacement housing?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>XIII. PUBLIC SERVICES:</b>				
a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered facilities in order to maintain acceptable service ratios, response times or other performance objectives for any of the following:				
Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>XIV. RECREATION: Does the project:</b>				
a) Increase the demand for existing parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>XV. TRANSPORTATION/TRAFFIC:</b> Would the project:				
a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Exceed, either individually or cumulatively, a level of service standard established by the City or county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in substantially inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in substantially inadequate parking capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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ISSUE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>XVI. UTILITIES AND SERVICE SYSTEMS: Would the project:</b>				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have insufficient water supplies available to serve the project from existing entitlements and resources?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider that it has inadequate capacity to serve the project's projected demand in addition to its existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with insufficient permitted capacity to accommodate the project's solid waste disposal needs and comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

G. 1.79

ISSUE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project have impacts that are individually limited, but cumulatively considerable?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

For explanation, see attached notes.  
 Also see attached vicinity map (annotated Open Space Plan Figure 4), applicant's site plan & landscaping plan, and mitigation monitoring program.

G. 1.80

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## AESTHETICS

### I.a. Scenic vistas

**Threshold of Significance:** Substantial adverse effect on public views of San Francisco Bay, the Brisbane Lagoon and San Bruno Mountain State and County Park from City parklands or from extended lengths of City arterial or collector streets (General Plan Policies 17 & 19 and Programs 17 a & 238c; Brisbane Municipal Code Section 17.12.040.L).

**Explanation/Information Source:** According to the "Open Space Plan for the City of Brisbane-Background and Reference Information," the site "...is highly visible from off site, particularly from the surrounding neighborhood, from portions of San Bruno Mountain to the south and from adjacent roadways to the east." The "Open Space Plan for the City of Brisbane" approved by the City Council in 2001 identified the "prominent ridgeline" that runs through the site as having significant open space resources (Figure 6). Under the zoning regulations for the Brisbane Acres adopted by the City Council in 2002, "Structures shall be located below ridgelines in a manner that will preserve public views of the San Bruno Mountain State and County Park" (BMC Section 17.12.040.L). Given the site's relatively low elevation (equivalent to the upslope sides of Lake Street and Sierra Point Road) and location (on the Bay side of San Bruno Avenue), the proposed development will not block views of the State and County Park from City parklands or from extended lengths of City arterial or collector streets. The ridgeline upon which the site sits naturally blocks views of the Bay from southbound San Bruno Avenue until one reaches the "William Avenue" fireroad at the rear of the site.

In 2003, 20 cubic yards of cut was removed from the site, subject to a retroactive grading permit and HCP site activity permit. The following year, unapproved grading to remove 40-50 cu. yds. of cut was halted, and the Public Works Department required removal of the spoils from the grading so as to avoid any unengineered fill. The net result of this grading is that the relative elevation of the proposed house will be slightly lower than would have been the case before, because the 35 ft. height limit for the site will be measured from finished grade, since there is no fill on the site. Note that the Public Works Department did not seek misdemeanor charges under BMC Section 15.01.380 for violation of the grading ordinance, because the quantity of soil moved was determined to be relatively insignificant and because the owner complied with NPDES requirements for erosion control.

### I.b. Scenic resources

**Threshold of Significance:** Substantially damage scenic resources of community-wide value (General Plan Program 19a).

**Explanation/Information Source:** No specific scenic resources have been designated per General Plan Program 19a. Note that the Open Space Plan considered scenic values in its analysis, but did not include them among the most significant criteria in evaluating open space resources (page vi). See I.a., above.

### I.c. Visual character

**Threshold of Significance:** Substantial noncompliance with the adopted development regulations for the Brisbane Acres (Brisbane Municipal Code Sections 17.12.040.D, E, F, G, J, K & L). Note that the project is not subject to Design Permit approval (BMC Section 17.42.010.B).

**Explanation/Information Source:** The site is surrounded by single-family and multi-family development on 3 of 5 sides. No Variances to the R-BA District regulations have been requested.

### I.d. Light/glare

**Threshold of Significance:** Generation of excessive off-site glare from lighting and reflective building materials (General Plan Program 22e).

**Explanation/Information Source:** The applicant has agreed to incorporate mitigation measures into the project to assure that such impacts will be less than significant.

**Mitigation Measures:** Low-level exterior lighting directed away from adjacent properties and not upward into the night sky. No use of highly-reflective glass and other exterior building materials.

## II. AGRICULTURAL RESOURCES

**Explanation/Information Source:** There are no farmlands in Brisbane, as shown on General Plan Figures V-B & IC-A (pages 66 & 142).

## III. AIR QUALITY

### III.a Air quality plan

**Threshold of Significance:** Inconsistency with the Bay Area Clean Air Plan through inconsistency with the City of Brisbane General Plan (Bay Area Air Quality Management District CEQA Guidelines, pages 18-24; General Plan Policy 190).

**Explanation/Information Source:** Consistent with the General Plan, the project will be subject to BAAQMD construction dust control practices (GP Program 202b) and will provide improved pedestrian amenities (GP Policy 66).

### III.b. Air quality standards

**Threshold of Significance:** Dust generated during grading and construction in violation of Bay Area Air Quality Management District standards and Brisbane Municipal Code Sections 15.01.320 & 15.01.330.

**Explanation/Information Source:** Table 2 of the BAAQMD CEQA Guidelines recommends that all unpaved access road, parking areas and staging areas at construction sites be paved or have water applied three times daily or have non-toxic soil stabilizers applied. The Guidelines also recommend that if visible soil material is carried onto adjacent streets, the streets should be swept daily with water sweepers. The applicant has agreed to incorporate mitigation measures into the project to assure that such impacts will be less than significant.

**Mitigation Measures:** All unpaved access road, parking areas and staging areas at construction sites shall be paved or have water applied three times daily or have non-toxic soil stabilizers applied. If visible soil material is carried onto adjacent streets, the streets shall be swept daily with water sweepers.

**Threshold of Significance:** "Criteria pollutant" emissions exceeding 9 ppm averaged over 8 hours and 20 ppm for 1 hour (550 lbs. per day) for carbon monoxide (CO) or 80 lbs. per day for nitrogen oxides matter (NO<sub>x</sub>), fine particulate matter (PM<sub>10</sub>) or reactive organic gases (ROG) (BAAQMD CEQA Guidelines, pages 5-6; General Plan Policy 190). Note: BAAQMD recommends a detailed air quality analysis for projects generating at least 2,000 vehicle trips per day (also see GP Policy 193).

**Explanation/Information Source:** The project would generate an estimated 9,55 average daily trips according to the Institute of Transportation Engineers. Per the Bay Area Air Quality Management District CEQA Guidelines (pages 24-25), it would take a residential development of at least 320 single-family units to generate significant amounts of NO<sub>x</sub>, and the CO threshold would potentially be exceeded if the increase in traffic volume is 100 or more vehicles per hour.

### III.c. Cumulative increase

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**Threshold of Significance:** Emissions exceeding thresholds for project operations (see above) or growth resulting from the project inconsistent with the Bay Area 2000 Clean Air Plan population and vehicle-miles-traveled assumptions, based upon the Association of Bay Area Governments' Projections '98 (Bay Area Air Quality Management District CEQA Guidelines, pages 18-22; General Plan Policy 190).

**Explanation/Information Source:** ABAG's Projections '98, expected Brisbane to have a population of 4,130 in 2005. The California Department of Finance estimated Brisbane's population on January 1, 2004, to be 3,640, with an average of 2,167 persons per household. Since January 1, 2004, the City has issued Certificates of Occupancy for 24 additional dwelling units (as of April 25, 2005), which at 2,167 persons each would add 52 to the population, increasing it to 3,692. With approximately 50 more units in the building permit pipeline, the project's 1 unit could increase the population to 3,803, which is less than ABAG's projection for 2005.

#### III.d. Sensitive receptor exposure

**Threshold of Significance:** Location of residential uses within 200 ft. of a congested intersection or roadway with high levels of motor vehicle emissions, or to a source of toxic air contaminants or a potential source of accidental releases of hazardous materials, or to high levels of nuisance dust emissions (Bay Area Air Quality Management District CEQA Guidelines, pages 9-10; General Plan Land Use Map, page 61—200 ft. is the distance between the 101 Freeway and the Brisbane Acres subarea within which residences are a permitted use).

**Explanation/Information Source:** According to staff estimates, the proposed residential use will be located approximately 0.38 mile from the Bayshore Freeway, 0.76 mile from the Santa Fe Pacific Pipelines Tank Farm, and 1.16 miles from the Guadalupe Valley Quarry.

#### III.e. Odors

**Threshold of Significance:** Exposure of residential uses to a transfer station, asphalt batch plant, auto body shop or other source of odorous emissions located within 1 mile (Bay Area Air Quality Management District CEQA Guidelines, pages 15-17, General Plan Policy 190).

**Explanation/Information Source:** According to staff estimates, the proposed residential use will be located approximately 1.93 miles from the Sanitary Fill Transfer Station, 1.16 miles from American Rock & Asphalt's Guadalupe Valley Quarry, and 1.17 miles from the Industrial Way auto repair shops.

### IV. BIOLOGICAL RESOURCES

#### IV.a. Protected species

**Threshold of Significance:** Noncompliance with the San Bruno Mountain Area Habitat Conservation Plan—see Section IV.f. regarding the Habitat Conservation Plan.  
**Explanation/Information Source:** The project site is located within the jurisdiction of the San Bruno Mountain Area Habitat Conservation Plan, which identified endangered Mission Blue and Callippe Silverspot butterflies within the general vicinity.

According to the "Open Space Plan for the City of Brisbane--Background and Reference Information," the site was dominated by French broom, fennel, iceplant and other non-native plants, with a few isolated toyon plants, in June of 2000. It was described as "far from suitable endangered butterfly habitat," with reference made to a biological survey reportedly performed on the property by Thomas Reid Associates on August 18, 1988, that had found no host plants of the endangered Mission Blue or Callippe Silverspot butterflies. The May 28, 2004 biological survey by Thomas Reid Associates (conducted after the site had been graded without permits)

noted French broom, ice plant, fennel, California poppy, prickly pear, wild radish and various annual grasses were found at the borders of the site, where the grading had been stopped. The survey found no "special status plants or animals." The survey report concluded that "Based on this survey and the existing conditions at the time of the survey, no special-status plants or animals were detected within the project site. Additionally, given that the bordering areas of the property and adjacent properties also did not appear to support special-status plants, specifically the listed butterfly host plants, the project area did not likely support those plant species prior to grading." A March 26, 2005, follow-up survey by Thomas Reid Associates found rumex, milkweed, bottlebrush, ice plant, pine trees and annual grasses adjacent to the site, but no butterfly habitat. Lupine and viola have subsequently been sighted on a vacant lot south of San Bruno Avenue, approximately 100 ft. from the project location.

As required by the Public Works Department, an HCP-appropriate seed mix approved by Thomas Reid Associates was included in the erosion control measures used on the site.

The proposed landscape plan for the house includes areas at the northeast and southwest corners of the site to be planted with a perennial herb mix consisting of *Monardella villosa*, *Salvia spathacea*, *Dichelostemma*, *Iris douglasiana*, *Lomatium* and *Horkelia californica*. The southeast corner of the site is proposed to be planted with a grass mix consisting of *Nassella pulchra*, *Festuca* and *Danthonia californica*. The south and east sides of the property would be bordered by California-native trees and shrubs (*Aesculus californica*, *Cercis occidentalis*, *Prunus lyonii*, *Sambucus caerulea* and *Ceanothus*) and enclosed by a 6 ft. tall redwood fence.

"[C]ompliance with the Agreement with Respect to the San Bruno Mountain Area Habitat Conservation Plan and Section 10(a) Permit fulfills the agency's obligation under CEQA to assess the impact, including cumulative impact, of the project on the species of concern" (HCP, Vol. 1, Page V-2; General Plan Policy 119 and Program 83b).

#### IV.b. Riparian or other sensitive habitat

**Threshold of Significance:** Development encroaching within sensitive canyons and watercourses in violation of General Plan Policies 262 & 319 and Programs 30a, 84e, 245d & 245e and Brisbane Municipal Code Sections 13.06.180 & 17.12.040.M.  
**Explanation/Information Source:** Site contains no riverine intermittent streams (General Plan, page 152).

**Threshold of Significance:** Removal of coast live oak trees, saplings or seedlings (General Plan Policy 82).

**Explanation/Information Source:** Site contains no native woodland (General Plan, page 142).

**Threshold of Significance:** Removal of any trees that might be inhabited by nesting raptors (General Plan Policy 82).

**Explanation/Information Source:** Site contains no trees which may be inhabited by nesting raptors.

#### IV.c. Wetlands

**Threshold of Significance:** Loss of wetlands without adequate mitigation (General Plan Policies/Programs 81, 82, 130c, 130.1, 134.c, 134.d, 237, 349, 354, 359).

**Explanation/Information Source:** Site contains no wetlands or other water-related features (General Plan, pages 142 & 152).

#### IV.d. Wildlife movement/migration

**Threshold of Significance:** Substantial interference with the movement of any native resident or migratory animal species or established wildlife corridors (San Bruno Mountain Area Habitat

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Conservation Plan, Vol. 1, pages G-2, III-1 & III-2, and Vol. 2, page VII-157; General Plan Policies 119 & 310.1 and Program 83b). Also see IV.b regarding nesting habitat, above.

**Explanation/Information Source:** Mission Blue and Callippe Silverspot butterflies are not typically found this far below the main ridge of San Bruno Mountain. It is difficult, though, to predict butterfly behavior, since they appear to fly in random directions, wherever they can find host and nectar plants. Both species will cross short distances though obstacles such as scattered brush or trees and small paved roads. The Callippe prefers hilltops for mating. It tends to travel through dry, open areas up to a half mile between areas of habitat. The Mission Blue will tend to travel up to a quarter mile from habitat. The large expanse of butterfly habitat atop San Bruno Mountain extends down the hillside to within approximately a seventh of a mile from the subject property. Areas of native grassland that could include nectar plants for the adult Mission Blue butterflies (coast buckwheat, *Eriogonum latifolium*, as well as purple needlegrass and golden aster) have been identified approximately a twelfth of a mile to the northeast and approximately a quarter of a mile north of the site, but these areas have not been documented as supporting populations of endangered butterfly species. Thus, development of the subject property would not substantially interfere with the likely movement of native butterflies. If the intent of the proposed landscaping (see IV.a, above) is to encourage the utilization of habitat islands to the north by providing nectar plants along the way, then replacing the proposed wooden fence enclosing the proposed native grasses and herbaceous plants with a more open one and moving the proposed trees up closer to the house, away from the eastern slope of the site, would be advisable (San Bruno Mountain Area Habitat Conservation Plan, Vol. 1, page III-2; Patrick Kobernus, Thomas Reid Associates, 4/25/05; Open Space Plan, Figure 4).

#### IV.e. Biological resource protections

**Threshold of Significance:** Noncompliance with the City's tree regulations (General Plan Policy 125, Brisbane Municipal Code Chapter 12.12).

**Explanation/Information Source:** Site contains no trees protected by the City's tree ordinance (BMC Chapter 12.12).

#### IV.f. HCP

**Threshold of Significance:** Noncompliance with the San Bruno Mountain Area Habitat Conservation Plan (General Plan Policy 119 and Program 83b).

**Explanation/Information Source:** The site is within the jurisdiction of the HCP (General Plan, page 147). The Operating Program for the Management Units in the Brisbane Acres Administrative Parcel (HCP, Vol. 2, page VII-157) requires that "the Landowner must demonstrate that approval of the grading and/or development proposal is consistent with protecting 40% of the Brisbane Acres as Conserved Habitat. The Landowners may demonstrate consistency through the use of one or more of the following mitigation measures:

- (i) dedication of habitat easements, open space in fee and/or transfer of allowed density to other parcels in the Brisbane Acres
- (ii) acquisition of off-site parcels for dedication as permanent Conserved Habitat
- (iii) clustering of development
- (iv) imposition of landscaping restrictions on undeveloped portions of sites to retain natural vegetation
- (v) voluntary merging of parcels to permit clustered development and habitat protection
- (vi) grading plans which are designed to minimize habitat destruction
- (vii) development siting standards to preserve broad corridors of natural habitat
- (viii) reclamation plans for temporarily disturbed areas."

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The draft Operating Program for the subject property (identified as Management Unit 2-03-17) relies upon Item (iv) to comply. All French broom, Striatus broom, oxalis, bristly ox-tongue, Italian thistle, weedy grasses, Eucalyptus seedlings and saplings and other invasive plants that pose a threat to butterfly habitat will be required to be controlled to the satisfaction of the HCP Manager. Note that an amendment to the HCP is currently in process that may increase the annual contribution to the HCP funding program. This is also reflected in the draft Operating Program.

Because the site is so small (less than one-half acre), none of the other HCP measures were deemed appropriate. For example, if 40% of the site were required to be dedicated as conserved habitat, an additional 30 ft. wide buffer area would be required for separation from the proposed development (HCP Vol. 1, page G-1). Excluding the required front and side setbacks, this would leave a development envelope smaller than the 25% minimum provided by Brisbane Municipal Code Section 17.12.040.E.

#### IV.g. Fish & Game Code Section 711.4

**Threshold of Significance:** Effect of project on fish and wildlife is more than de minimis [Fish & Game Code Section 711.4.(c)(2)(B), General Plan Program 122a].

**Explanation/Information Source:** See IV.a, b, d & f, above.

#### V. CULTURAL RESOURCES

##### V.a. Historical resources

**Threshold of Significance:** Material impairment to designated historical structures/sites or any historical resource as defined in Public Resources Code Sections 5020.1.(j) or 21084.1 meeting the criteria listed in PRC Section 5024.1.(c) (General Plan Policy 23 and Program 23c, State CEQA Guidelines Section 15064.5).

**Explanation/Information Source:** There are no historical structures, sites or resources on the subject property (General Plan page 158; General Plan Background Report on Existing and Planned Parks, Recreation, Historic and Cultural Resources).

##### V.b. Archaeological resources

**Threshold of Significance:** Substantial adverse change in the significance of a unique archaeological resource as defined in Public Resources Code Section 21083.2.(b) [State CEQA Guidelines Section 15064.5.(c) and General Plan Policy 137].

**Explanation/Information Source:** Based upon prior survey in the general area, there is generally high potential for resources to be found (General Plan, page 158). The applicant has agreed to incorporate mitigation measures into the project to assure that such impacts will be less than significant.

**Mitigation Measure:** Conservation of any prehistoric resources found during construction per PRC Section 21083.2.(b)-(f) & (i) and State CEQA Guidelines Sections 15064.5.(d), (e) & (f).

##### V.c. Paleontological resources

**Explanation/Information Source:** No unique paleontological resources or sites are known to exist (General Plan, page 156).

##### V.d. Disturbance of human remains

**Threshold of Significance:** Disturbance of any human remains (General Plan Policy 137).

**Explanation/Information Source:** Based upon prior survey in the general area, there is generally high potential for human remains to be found (General Plan, page 158). The applicant has agreed to incorporate mitigation measures into the project to assure that such impacts will be less than significant.

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**Mitigation Measure:** Compliance with the protocol established in Public Resources Code Section 21083.2.(f) and State CEQA Guidelines Sections 15064.5.(d), (e) & (f).

#### VI. GEOLOGY AND SOILS

##### VI.a.i. Earthquake fault rupture

**Explanation/Information Source:** The area is located outside of the Alquist-Priolo Seismic Special Studies Zone boundaries (Brisbane General Plan Technical Studies, page II-15).

##### VI.a.ii. Strong seismic ground shaking

**Threshold of Significance:** Noncompliance with California Building Code Chapter 16, Division IV, which establishes minimum standards for construction with the intent of significantly reducing the likelihood of collapse of structures and limiting destruction to nonstructural damage, such as broken windows, doors, piping, ducts and light fixtures, and damage to building contents (appliances, furniture, etc.), and/or noncompliance with California Building Code Section 1804, which requires that the recommendations of the soils engineering report and engineering geology report shall be incorporated into the project (General Plan Programs 149a & 149e).

**Explanation/Information Source:** The site is within an area projected to experience shock during a severe seismic event (General Plan, page 170; also see ABAG's 1995 "On Shaky Ground" map). Compliance with the threshold is mandatory, so there will be no significant impacts.

##### VI.a.iii. Liquefaction

**Threshold of Significance:** Noncompliance with California Building Code Chapter 16, Division IV, and Section 1804 (General Plan Programs 149a & 149e).

**Explanation/Information Source:** The site is in an area of no susceptibility to liquefaction (General Plan, page 174; also see ABAG's 2001 Liquefaction Hazard Map).

##### VI.a.iii. Seismically-induced landslides

**Threshold of Significance:** Noncompliance with California Building Code Chapter 16, Division IV, and Section 1804—See VI.a.i, above (General Plan Programs 149a & 149e).

**Explanation/Information Source:** The site is in an area of very low to moderate susceptibility to seismically-induced landsliding (General Plan, page 173). As required by GP Program 149e for sites prone to seismically-induced landslides, a geotechnical investigation was prepared in 2004 by Earth Science Consultants for the project. According to the investigation dated February 28, 2004 (page 6), there are no plotted landslide deposits at or adjacent to the site. The investigation (page 9) generally recommended that the building on the site be designed with a drilled pier and grade beam foundation system. It was noted (page 6) that the site is outside the area identified as having landslide deposits in the USGS Preliminary Geologic Map by Wentworth et al. The investigation generally confirms the findings of an earlier geotechnical investigation by Baldwin-Wright, Inc., dated 1/19/87. The applicant has agreed to incorporate mitigation measures into the project to assure that such impacts will be less than significant.

**Mitigation Measure:** Geotechnical engineer to oversee construction to certify that the recommendations have been properly implemented.

##### VI.b. Substantial soil erosion or loss of topsoil

**Threshold of Significance:** Noncompliance with Brisbane Municipal Code Section 13.06.170.C, requiring implementation of best management practices for new development to control erosion (General Plan Programs 152e, 152f & 152g).

**Explanation/Information Source:** The site is located on soils that have a moderate to very high erosion rating according to the USDA Soil Conservation Service (General Plan Technical Studies, pages II-8 & 9). According to the Earth Science Consultants' geotechnical investigation, the site is covered with sandy silt soils of 2.8-5.6 ft. depth over weathered sandstone bedrock (page 7), mostly flat (page 3), with slopes around the perimeter that have performed relatively well to date (pages 4-5). Compliance with the threshold is mandatory, so there will be no significant impacts.

##### VI.c. Landslide, lateral spreading, subsidence or collapse

**Threshold of Significance:** Noncompliance with California Building Code Section 1804, requiring that the recommendations of the soils engineering report and engineering geology report be incorporated into the project (General Plan Programs 152b & 152e).

**Explanation/Information Source:** According to page 171 of the General Plan, the site is in an area of least susceptibility to landsliding. A geotechnical investigation was prepared for the project by Earth Science Consultants, which found that this site is covered with sandy silt soils of 2.8-5.6 ft. depth over weathered sandstone bedrock (page 7) and generally recommended that the building be designed with a drilled pier and grade beam foundation system (page 9). The investigation (page 6) noted that the site is outside the area identified as having landslide deposits in the USGS Preliminary Geologic Map by Wentworth et al. The investigation generally confirms the findings of a 1987 geotechnical investigation by Baldwin-Wright, Inc.

##### VI.d. Expansive soils

**Threshold of Significance:** Noncompliance with California Building Code Sections 1803 & 1804 and Tables 18-1-A & 18-1-B (General Plan Programs 152b & 152e).

**Explanation/Information Source:** Earth Science Consultants found that this site is covered with nonexpansive sandy silt soils (page 7).

#### VII. HAZARDS AND HAZARDOUS MATERIALS

##### VII.a. Transport/use/disposal & VII.b. Upset/accident conditions

**Threshold of Significance:** Noncompliance with State and Federal regulations regarding the storage, handling and transport of hazardous materials (General Plan Policy 144; General Plan EIR, Volume II, page 252; and General Plan Safety Element Background Report, Appendix D).

**Explanation/Information Source:** No significant amount of hazardous materials will be associated with the project.

##### VII.c. School sites

**Threshold of Significance:** Noncompliance with State and Federal regulations regarding the storage, handling and transport of hazardous materials within ¼ mile of a school (Public Resources Code Section 21151.4, General Plan Policy 144; General Plan EIR, Volume II, page 252; and General Plan Safety Element Background Report, Appendix D).

**Explanation/Information Source:** The site is located 500 ft. from Brisbane Elementary School. No significant amount of hazardous materials will be associated with the project.

##### VII.d. Hazardous materials site

**Threshold of Significance:** Lack of a remediation plan approved/adopted by all Federal, State and local agencies having jurisdiction over the remediation plan prior to City approval of the project (General Plan Policies 173 & 174).

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**Explanation/Information Source:** The project location is not a hazardous materials site.

**VII.e. Airport hazards**  
**Explanation/Information Source:** No portion of the City of Brisbane is located within an airport land use plan or within the vicinity of a private airstrip.

**VII.f. Emergency response/evacuation plan**  
**Threshold of Significance:** Conflict with the City's Emergency Management Plan (General Plan Policies 44 & 69 and Program 148b).

**Explanation/Information Source:** The project adjoins San Bruno Avenue, a feeder emergency evacuation route, according to the City's Emergency Management Plan (Safety Element—Background Report, page 13). To avoid any significant impact, the site takes its access from Thomas Avenue.

**VII.g. Wildland fires**  
**Threshold of Significance:** Noncompliance with the automatic fire sprinkler requirements of Brisbane Municipal Code Section 15.44.170 and the fire-resistant landscaping requirements of BMC Sections 17.12.040.H & 17.12.040.K.(5), as applicable.

**Explanation/Information Source:** Although there is a vacant hillside property to the east, the site is not located within an area of moderate/high/extreme wildland fire hazard (General Plan, page 180). The Fire Department finds that the proposed landscaping will not be a fire hazard, given the proposed irrigation.

#### VIII. HYDROLOGY AND WATER QUALITY

**VIII.a. Water quality standards/waste discharge requirements**  
**Threshold of Significance:** Noncompliance with the water quality requirements of the National Pollutant Discharge Elimination System, Federal Clean Water Act, Regional Water Quality Control Board and/or San Mateo County Department of Environmental Health, and/or Brisbane Municipal Code Sections 13.06.130 and 13.06.230, ABAG's "Manual of Standards for Erosion & Sediment Control Measures" and the California Stormwater Quality Association's "Construction Storm Water Best Management Practice Handbook" (General Plan Programs 134a and 228d).

**Explanation/Information Source:** The CRWQCB's amended Order No. 99-59 requires that all municipalities under the San Mateo Countywide Stormwater Pollution Prevention Program specifically analyze whether projects will cause or contribute to an exceedance of applicable surface or groundwater receiving water quality objectives or degradation of beneficial uses. Projects that create, add and/or replace 10,000 sq. ft. or more of impervious surface on the project site are specifically subject to NPDES permit reporting requirements. The proposed project will result in approximately 7,000 sq. ft. of impervious surface. Compliance with the thresholds is mandatory, so there will be no significant impacts.

**VIII.b. Groundwater**  
**Explanation/Information Source:** Groundwater is not used as a source within the City of Brisbane; thus, the project will not deplete any groundwater supplies or interfere substantially with any groundwater recharge.

**VIII.c. Erosion/siltation from drainage alteration**  
**Threshold of Significance:** Noncompliance with the National Pollutant Discharge Elimination System Program and Brisbane Municipal Code Sections 13.06.170 & 13.06.180 (General Plan Policies 133, 262 & 319 and Programs 134a, 228d & 245d).

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**Explanation/Information Source:** There are no watercourses on the site that will be altered; although, development will increase the storm runoff from the site, which eventually drains to the Brisbane Lagoon (General Plan, page 152). Compliance with the thresholds is mandatory, so there will be no significant impacts.

**VIII.d. Flooding from drainage alteration or increased runoff**  
**Threshold of Significance:** Noncompliance with the National Pollutant Discharge Elimination System Program, California Building Code Section 1804.7 and Brisbane Municipal Code Sections 13.06.170 & 13.06.180 (General Plan Policies 153, 262 & 319 and Programs 134a, 228d & 245d).

**Explanation/Information Source:** The California Regional Water Quality Control Board's amended Order No. 99-59 requires that all municipalities under the San Mateo Countywide Stormwater Pollution Prevention Program specifically analyze whether the project will result in significant adverse environmental impact to drainage patterns due to changes in runoff flow rates or volumes. Of particular concern would be increased runoff associated with increased impervious surfaces. Projects that create, add and/or replace 10,000 sq. ft. or more of impervious surface on the project site are specifically subject to NPDES permit reporting requirements. SM STOPPP requires that such projects identify stormwater treatment, source control and/or site design measures to serve as Best Management Practices for stormwater pollution prevention and/or treatment under the Municipal Stormwater NPDES Permit. The proposed project will result in approximately 7,000 sq. ft. of impervious surface. The Storm Drainage Master Plan prepared for the City by RBF Consulting (November 2003) indicates no capacity deficiency in the existing storm drainage system serving this site. Compliance with the thresholds is mandatory, so there will be no significant impacts.

**VIII.e. Stormwater drainage system capacity**  
**Threshold of Significance:** Noncompliance with the National Pollutant Discharge Elimination System Program, California Building Code Section 1804.7 and Brisbane Municipal Code Sections 13.06.170 & 13.06.180 (General Plan Policy 153 and Programs 134a & 228d).

**Explanation/Information Source:** The California Regional Water Quality Control Board's amended Order No. 99-59 requires that all municipalities under the San Mateo Countywide Stormwater Pollution Prevention Program specifically analyze whether the project will result in significant adverse environmental impact to drainage patterns due to changes in runoff flow rates or volumes. Of particular concern would be increased runoff associated with increased impervious surfaces. Projects that create, add and/or replace 10,000 sq. ft. or more of impervious surface on the project site are specifically subject to NPDES permit reporting requirements. SM STOPPP requires that such projects identify stormwater treatment, source control and/or site design measures to serve as Best Management Practices for stormwater pollution prevention and/or treatment under the Municipal Stormwater NPDES Permit. The proposed project will result in approximately 7,000 sq. ft. of impervious surface. The Storm Drainage Master Plan prepared for the City by RBF Consulting (November 2003) indicates no capacity deficiency in the existing storm drainage system serving this site. Compliance with the thresholds is mandatory, so there will be no significant impacts.

**VIII.f. Other water quality degradation**  
**Threshold of Significance:** Noncompliance with the water quality requirements of the National Pollutant Discharge Elimination System, Federal Clean Water Act, Regional Water Quality Control Board and Brisbane Municipal Code Sections 13.06.130 & 13.06.230 (General Plan Programs 133a, 134a & 228d).

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**Explanation/Information Source:** The California Regional Water Quality Control Board's amended Order No. 99-59 requires that all municipalities under the San Mateo Countywide Stormwater Pollution Prevention Program specifically analyze whether the project will result in an increase in pollutant discharges to receiving waters, in terms of such parameters as temperature, dissolved oxygen, turbidity, heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment nutrients, oxygen-demanding substances and trash. It must also be determined whether a project will result in significant alteration of receiving water quality during or following construction. Projects that create, add and/or replace 10,000 sq. ft. or more of impervious surface on the project site are specifically subject to NPDES permit reporting requirements. The proposed project will result in approximately 7,000 sq. ft. of impervious surface. Compliance with the thresholds is mandatory, so there will be no significant impacts.

**VIII.g. Housing in 100-year flood zone, VIII.h. Structures in 100-year flood zone & VIII.i. Exposure to Flooding**

**Threshold of Significance:** Noncompliance with Brisbane Municipal Code Section 15.56.081 (Housing Element Program H18a).

**Explanation/Information Source:** No portion of the site is within the 100-year flood zone as identified on the Flood Insurance Rate Maps (Community Panel Nos. 060314 00) B & 060311 0025 B).

**VIII.j. Seiche/tsunami/mudflow**

**Threshold of Significance:** Noncompliance with California Building Code Section 1804 (General Plan Programs 152b & 152e and Housing Element Program H18a).

**Explanation/Information Source:** The site is not in an area of susceptibility to seiche/tsunami (General Plan, page 174). According to page 171 of the General Plan, the site is in an area of least susceptibility to landsliding, with no mapped debris flows in the vicinity (General Plan, page 172). The geotechnical investigation by Earth Science Consultants (page 6) noted that the site is outside the area identified as having landslide deposits in the USGS Preliminary Geologic Map by Wentworth et al. See VI.c, above.

**IX. LAND USE AND PLANNING**

**IX.a. Physical division of community**

**Explanation/Information Source:** The project is located adjacent to existing residential development. No physical division will result.

**IX.b. General Plan or other environmental regulation**

**Threshold of Significance:** Inconsistency with environmental regulations in the General Plan or Brisbane Municipal Code.

**Explanation/Information Source:** The proposed use is consistent with the General Plan's Residential 0-2 dwelling units per acre land use designation and the Zoning Ordinance's R-BA Brisbane Acres Residential District. Note that a Variance was granted by the Planning Commission in 1970 to allow development of a building site smaller than the minimum permitted area. Unrecorded Brisbane Acres Lot 5 was originally approximately 40,716 sq. ft. in area, but through resubdivision, lot line adjustment and street dedication, the subject property has been reduced to approximately 17,235 sq. ft. in area.

The project will be consistent with General Plan Policies 41, 74, 76 & 247, General Plan Program 75a and Brisbane Municipal Code Section 17.01.060.B, requiring that new building sites have adequate and legal access which complies with City standards. Dedication of right-of-way to comply with the 40 ft. minimum width for Thomas Avenue is currently in process. Other

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infrastructure is available to serve the site, consistent with General Plan Policies 208, 209, 214, 218 & 222.

**IX.c. Other agencies' environmental regulations**

**Threshold of Significance:** Inconsistency with environmental regulations of other agencies with jurisdiction over the project.

The project is consistent with the Congestion Management Program adopted by the City/County Association of Governments of San Mateo County, in that it will not generate 100 or more trips at peak hour.

**IX.d. HCP**

See IV.f.

**X. MINERAL RESOURCES**

**X.a. Important mineral resource**

**Threshold of Significance:** Loss of availability of a regionally significant construction aggregate resource (General Plan Policy 135 and Program 135d).

**Explanation/Information Source:** The site is not located within a State Designated Mineral Resources Area (General Plan, pages 31, 155-157).

**XI. NOISE**

**XI.a. Noise standards**

**Thresholds of Significance:** Noncompliance with the State General Plan Guidelines' Land Use Compatibility for Community Noise Environments matrix (Figure 3 and Page 5, 1992 Background Report for the City of Brisbane Noise Element), establishing ranges of community noise exposure for which categories of land use are considered normally acceptable, conditionally acceptable, normally unacceptable and clearly unacceptable (General Plan Program 184a). Noncompliance with the noise insulation requirements for residential development contained in Title 24, Part 2, Appendix Chapter 35, Section 3501(c) of the California Administrative Code, which require that residential units be designed so that outside noise levels within the units would not exceed 45 dB CNEL (General Plan Policy 184).

**Explanation/Information Source:** According to page 193 of the General Plan, this site is located inside the 60-65 dB traffic noise corridor. Single-family residential uses are conditionally acceptable within this range per the State General Plan Guidelines' Land Use Compatibility for Community Noise Environments matrix, subject to a detailed noise reduction analysis. The applicant has agreed to incorporate mitigation measures into the project to assure that such impacts will be less than significant.

**Mitigation Measure:** Professionally-prepared acoustical analysis report, showing how the proposed design will limit exterior noise to 45 dB in any habitable room per California Code of Regulations, Title 24, Appendix Chapter 35 (California Noise Insulation Standards) per General Plan Programs 184b & 184d.

**XI.b. Groundborne vibration**

**Threshold of Significance:** Excessive groundborne vibration (General Plan Policies 176 & 184 and Programs 176a).

**Explanation/Information Source:** The project will not generate or be exposed to excessive groundborne vibration.

**XI.c. Temporary noise**

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**Threshold of Significance:** Noncompliance with Brisbane Municipal Code Section 8.28.060, which establishes a noise level standard for construction activities (which are allowed only between the hours of 7:00 a.m. and 7:00 p.m. on weekdays and 9:00 a.m. to 7:00 p.m. on weekends and holidays) of no more than 83 dBA at a distance of 25 feet from the source thereof, or no more than 86 dBA at any point outside of the property plane of the project (General Plan Program 184a).

**Explanation/Information Source:** Compliance with the threshold is mandatory.

**XI.d. Airport noise**

**Explanation/Information Source:** No portion of the City of Brisbane is located within an airport land use plan or within the vicinity of a private airstrip.

**XII. POPULATION AND HOUSING**

**XII.a. Population growth**

**Threshold of Significance:** More than 115 dwelling units per year [Condition of Approval A.1.j adopted for the Northeast Ridge Project in 1989 limited the issuance of building permits for the project to no more than 115 dwelling units (20% of the total for the project) per year, with any unused allotment being allowed to be carried over to a subsequent year, in which case the combined limit would be 144 units (25% of the total)].

**Explanation/Information Source:** The California Department of Finance estimated that there were 1,876 dwelling units in Brisbane on January 1, 2004. Since January 1, 2004, the City has issued Certificates of Occupancy for 24 additional dwelling units (as of April 25, 2005). With approximately 50 more units in the building permit pipeline, the project's 1 unit would not increase growth above previously accepted limits, recognizing, of course, that not all of these units would be added in a single year, nor might these be the only units added in any year.

**XII.b. Displacement creating housing demand**

**Explanation/Information Source:** The project will not displace any existing housing.

**XIII. PUBLIC SERVICES**

**XIII.a. Fire protection**

**Threshold of Significance:** Noncompliance with the fire access, hydrant, sprinkler and other requirements of the Fire Prevention Code (Brisbane Municipal Code Chapter 15.44). Inadequate fire protection infrastructure (General Plan Policies 146, 158, 208 & 210 and Programs 158a & 208a).

**Explanation/Information Source:** Compliance with the Fire Prevention Code is mandatory.

**XIII.b. Police protection**

**Threshold of Significance:** Inability to maintain satisfactory response time (General Plan Policies 160 & 163).

**XIII.c. Schools**

**Explanation/Information Source:** The project can be adequately served by existing police resources without substantially impacting average response time.

**Threshold of Significance:** According to the State Legislature, payment of school impact fees completely mitigates a project's impacts regarding school facilities.

**Explanation/Information Source:** The Brisbane Elementary School District collects fees of \$2.14 per square foot for residential projects, \$0.34 per square foot for commercial/industrial

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projects, and 5,004 per square foot for parking structures to mitigate school impacts. Compliance with the threshold is mandatory.

**XIII.d. Parks**

**Threshold of Significance:** Provision of inadequate parks and/or recreational facilities (California Government Code Section 66477 and Brisbane Municipal Code Sections 16.24.020, 16.24.030 & 16.24.070).

**Explanation/Information Source:** The project is not subject to Government Code Section 66477 and BMC Sections 16.24.020, 16.24.030 & 16.24.070. A single-family residence will not have a substantial impact associated with new/alterd parks.

**XIII.e. Other public facilities**

**Threshold of Significance:** Inadequate infrastructure, including water, sewer, storm drains and streets, per City standards (General Plan Policies 146, 208 & 210 and Program 208a).

**Explanation/Information Source:** See IX.b., above.

**XIV. RECREATION**

**XIV.a. Deterioration of existing facilities**

**Threshold of Significance:** Substantial impact to existing parks and/or recreational facilities [California Government Code Section 66477(e)(3) and Brisbane Municipal Code Section 16.24.030].

**Explanation/Information Source:** The project is not subject to Government Code Section 66477(e)(3) and BMC Section 16.24.030. A single-family residence will not have a substantial impact to existing park or recreational facilities.

**XIV.b. Impacts from recreational facilities**

**Threshold of Significance:** Significant environmental effects from the construction/expansion of recreational facilities--see I, III, IV, V, VI, VII, VIII, IX, X, XI, XII and XIII, above, and XV, XVI and XVII, below.

**Explanation/Information Source:** No recreational facilities are proposed to be constructed or expanded.

**XV. TRANSPORTATION/TRAFFIC**

**XV.a. Traffic increase**

**Threshold of Significance:** Substantial increase in traffic resulting in inadequate flow or unsafe circulation (General Plan Policy 40).

**Explanation/Information Source:** According to the International Traffic Engineer's Trip Generation Manual (7<sup>th</sup> Edition), a single-family residence would generate 9.55 average daily trips. This is not considered a substantial increase in traffic (based upon previous traffic counts, the Public Works Department estimates that the average daily trips on San Bruno Avenue are approximately 2,000 at Vistacion Avenue and approximately 1,200 at McLain Road).

**XV.b. Adopted level of service**

**Threshold of Significance:** Traffic exceeding Level of Service "D" for all arterials, except LOS "C" for the intersections of Bayshore Boulevard at Old County Road and San Bruno Avenue (General Plan Policy 38.1) and LOS "E" for Bayshore Boulevard at Geneva Avenue and for U.S. 101 within Brisbane (City/County Association of Governments of San Mateo County Congestion Management Program and General Plan Program 55a).

**Explanation/Information Source:** When traffic counts were taken throughout the city in October of 2000, all of the major intersections in Brisbane were operating at Level of Service C

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or better, and freeway mainline segments were operating at LOS E or better during A.M. and P.M. peak hours, according to the One Quarry Road Residential Project Draft Environmental Impact Report Volume 1 (page 245), using San Mateo City/County Association of Governments (C/CAG) Congestion Management Program methodology. The One Quarry Road Residential Project traffic analysis was updated in 2004 by LSA, the consulting firm that prepared the 2001 Draft EIR (5/6/04 letter and updated Table IV.F-8), and Hexagon Transportation Consultants, Inc., the company contracted by C/CAG to run the regional traffic model (5/5/04 memorandum). The updated analysis concluded that the freeway segments would still operate at satisfactory levels of service.

The cumulative traffic impacts of a single-family residence (for which peak hour traffic generation is typically 1 trip per unit) could be significant, if they were to contribute to traffic turning left from San Bruno Avenue onto Bayshore Boulevard such as to result in LOS D. This turning movement is identified in the Environmental Impact Report for the City of Brisbane General Plan Update as having the greatest potential to decrease the level of service at this intersection below the adopted LOS C standard (Volume II, pages 74 & 76; Volume III—Appendix 3, page 39). The required mitigation would be signalization of the intersection (General Plan EIR, Volume II, pages 75-77; Volume III—Appendix 3, page 42). The General Plan EIR estimated that the projected development in Central Brisbane/Brisbane Acres of 43 single-family and 16 multi-family dwelling units in the 10-year development scenario would necessitate installation of signals at the then-projected cost of \$150,000 (Volume II, page 77-79; Volume III—Appendix 3, page 44-46). According to the City's Certificate of Occupancy and Demolition Permit records, there has been a net increase of 11 single-family dwellings and 18 multi-family dwellings since 1994, which is 14 units less than the projection. And of these, 14 units at the Vistacion Garden Senior Apartments would be highly unlikely to generate left turn traffic from San Bruno Avenue onto Bayshore Boulevard. Clearly, the threshold for requiring a traffic signal has yet to be crossed. In addition to the subject project, there are 19 additional single-family dwellings and 20 multi-family dwellings in various stages of development, including 15 units at 1 San Bruno Avenue that would be highly unlikely to generate the critical left turn movements. Thus, the cumulative traffic impact of the project does not appear to be significant.

#### XV.c. Traffic hazards

**Threshold of Significance:** Noncompliance with adopted street design standards (Brisbane Municipal Code Section 12.24.010). Noncompliance with construction traffic regulations (California Building Code Section 3303 and Brisbane Municipal Code Sections 12.04.080, 15.01.205 and 8.28.060).

**Explanation/Information Source:** The City is currently in the final steps of acquiring private portions of Thomas Avenue from the property owner, the Fern Trust. The project owner has already offered for dedication 6.5 ft. of Thomas Avenue frontage, so that the final right-of-way width will meet the City's 40 ft. standard. Compliance with construction traffic regulations is mandatory. While the intersection of Annis Road with Thomas Avenue at San Bruno Avenue is problematic, the City Engineer has not determined that this project will trigger the need for mitigation.

#### XV.d. Emergency access

**Threshold of Significance:** Noncompliance with fire apparatus access road standards (California Fire Code Section 902, as amended by Brisbane Municipal Code Sections 12.24.010 and 15.44.100-120).

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**Explanation/Information Source:** Thomas Avenue complies with the adopted standards. XV.e. Parking

**Threshold of Significance:** Substantial noncompliance with parking standards (Brisbane Municipal Code Sections 17.34.010-17.34.130).

**Explanation/Information Source:** Six on-site parking spaces are proposed where four parking spaces are required.

#### XV.f. Alternative transportation

**Threshold of Significance:** Failure to encourage alternatives to travel by automobile where appropriate (General Plan Policies 66 & 198 and Programs 55e, 60b, 62b, 100c, 194c, 198a, 198b & 198c; Brisbane Municipal Code Chapter 10.52 and Section 17.42.040.F).

**Explanation/Information Source:** The project will include sidewalk improvements on Thomas and San Bruno Avenues.

### XVI. UTILITIES AND SERVICE SYSTEMS

#### XVI.a. Wastewater treatment requirements

**Threshold of Significance:** See VIII.a, above

#### XVI.b. New/expanded water/wastewater treatment facilities

**Threshold of Significance:** Significant environmental effects resulting from the construction of new/expanded water/wastewater treatment facilities—see I, III, IV, V, VI, VII, VIII, IX, X, XI, XII, XIII and XV, above, and XVII, below.

**Explanation/Information Source:** The project will not include new/expanded wastewater treatment facilities.

#### XVI.c. New/expanded storm water drainage facilities

**Threshold of Significance:** Significant environmental effects resulting from the construction of new/expanded water/wastewater treatment facilities—see I, III, IV, V, VI, VII, VIII, IX, X, XI, XII, XIII and XV, above, and XVII, below.

**Explanation/Information Source:** The project will not include significant storm water drainage facilities.

#### XVI.d. Water supplies

**Threshold of Significance:** Insufficient water supplies to serve the project (General Plan Policies 146 & 208).

**Explanation/Information Source:** The City of Brisbane receives its water supply from the City and County of San Francisco's Heich Hetchy reservoir and water delivery system as a member of the Bay Area Water Users Association through the 1984 Water Settlement Agreement, expiring in 2009. The City of Brisbane is entitled to additional water allotments from San Francisco through earlier agreements from 1884 and 1908. The City's total entitlement is 1,053 million gallons of water per day. The San Francisco Water Department has not indicated any insufficient supplies or significant environmental effects associated with the project. The City of Brisbane's water connection and installation fees for the project will mitigate impacts to existing water reserve capacity (per General Plan Policy 206).

#### XVI.e. Wastewater treatment capacity

**Threshold of Significance:** Insufficient water supplies to serve the project (General Plan Policies 146 & 208).

**Explanation/Information Source:** The City and County of San Francisco is committed to provide the City of Brisbane with wastewater treatment for 6.0 million gallons per day total daily dry weather flow. The City's Sewer Master Plan projects that a single family home will generate

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demand for 105 gpd/du. The City of Brisbane's sewer connection and installation fees for the project will mitigate impact to existing sewer pump capacity.

**XVI.f. Landfill capacity**

**Threshold of Significance:** Insufficient landfill capacity to serve the project and comply with County, State and Federal regulations regarding solid waste (General Plan Policies 146 & 208 and Programs 143a & 166a).

**Explanation/Information Source:** The South San Francisco Scavenger Company (providing solid waste collection services) has not indicated any insufficient capacities to serve the project. Impacts on landfills are reduced through the Source Reduction and Recycling Element adopted by the City per General Plan Policy 143 and Programs 143a, 143b, 143c & 143f and, more specifically, the Recycling & Diversion of Debris from Construction & Demolition Ordinance (Brisbane Municipal Code Chapter 15.75).

**XVII. MANDATORY FINDINGS OF SIGNIFICANCE**

**XVII.a. Impact environmental, habitat and cultural resources**

**Threshold of Significance and Explanation/Information Source:** See I, III, IV, V, VI, VII, VIII, IX, X, XI, XII, XIII, XV and XVI, above.

**XVII.b. Cumulatively considerable impacts**

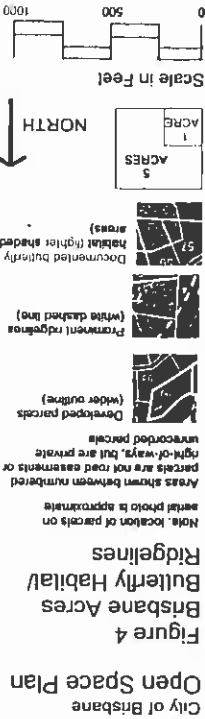
**Threshold of Significance:** See I, III, IV, V, VI, VII, VIII, IX, X, XI, XII, XIII, XV and XVI, above.

**Explanation/Information Source:** See I, III, IV, V, VI, VII, VIII, IX, X, XI, XII, XIII, XV and XVI, above.

The Environmental Impact Report for the City of Brisbane General Plan Update, certified by the City Council on June 21, 1994, addressed the long-term cumulative impacts of citywide development upon the full range of environmental factors covered under CEQA (pages 141-175 of the EIR). Cumulative impacts were also addressed over a ten-year horizon (pages 64-96) and by subarea (pages 105-108 & 183-187 for the Brisbane Acres subarea, which includes the subject project). The EIR projected a total of 2,039-2,065 dwelling units within its ten-year horizon (page 144). Based upon California Department of Finance estimates and City Certificate of Occupancy records, staff estimates that there are 1,900 existing units and approximate 50 currently approved for development or under construction, so that with the 1 additional unit proposed, the total would still be well below that projected. For the Brisbane Acres subarea, the EIR (page 42) projected the development of 5 units within the ten-year horizon. To date, only 1 unit has been constructed (930 Humboldt Road). The EIR concluded that all of the impacts would be addressed through General Plan policies and programs and review of project applications under CEQA.

**XVII.c. Effects on human beings**

**Threshold of Significance and Explanation/Information Source:** See I, III, IV, V, VI, VII, VIII, IX, X, XI, XII, XIII, XV and XVI, above.



City of Brisbane  
Open Space Plan  
Figure 4  
Brisbane Acres  
Bullerly Habitall  
Ridgelines  
Note: location of parcels on aerial photo is approximate  
Areas shown between numbered parcels are not road easements or right-of-ways, but are private  
unrecorded parcels  
Developed parcels  
(wider outline)  
Formerly ridges  
(white dashed line)  
Documented butterfly  
habitat (lighter shaded  
areas)

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MITIGATION MONITORING PROGRAM  
8 THOMAS AVENUE

Plant Schedule:

Trees

Items	Size	Botanical Name	Common Name
3	3 gal.	Magnolia S Royal Star	Star Magnolia
6	1 gal.	Cercis Occidentalis	Western Redbud
5	1 gal.	C. R. B. APPLE	C. R. B. APPLE
7	1 gal.	Aesculus calif.	Ca. Butteyc
4	1 gal.	CATALINA CHEERY	CATALINA CHEERY
5	1 gal.	BLUE ELEGANCEY	BLUE ELEGANCEY

Vines & Shrubs:

Items	Size	Spacing	Botanical Name	Common Name
3-2	1 gal.	12" sp.	Ceanothus	(variety esp. borzomanius, Anchor Bay, etc.)
2-1	1 gal.		CELANOTHUS	
1-0	1 gal.		Lavender	
6	1 gal.		Mexican Sage	
1-0	1 gal.		Monardella villosa	Coyote Mint
			Salvia spathulacea	Red pitcher sage
			Diaktesonema suboblongum	Blue sticks
			Douglas iris	Long-petal. iris
			Aikali parsnip	Bladder parsnip
			Phacelia calif.	Ca. phacelia
			Hortensia calif.	Ca. Hortensia

Ground Covers:

Items	Size	Spacing	Botanical Name	Common Name
1	Gallon	10"	Rosa Biancica Alba Plena	Lady Bank Rose
1	Gallon	10"	Lantana M. Spread Sunset	Orange Lantana
			Nesselia pulchra	Purple Needle Grass
			Festuca rubra, F. idahoensis	Red Fescue (Idaho fescue)
			Dianthonia calif.	Ca. oat grass

(\*) AC-BAS: 1800 SF, 1100 SF, # 300 SF

G.I. 101

Mitigation Measures: Low-level exterior lighting directed away from adjacent properties and not upward into the night sky. Exclusion of highly-reflective glass and other exterior building materials.  
Address in plans to be submitted for Building Permit  
Permit  
Conditions imposed on Building Permit  
Community Development Department, Building Inspector  
Means/Timing of Reporting: Regular inspections during construction, and final inspection prior to issuance of Certificate of Occupancy  
Brisbane General Plan Program 22e  
Stop Work Order (Brisbane Municipal Code Section 15.08.050)/Board of Appeals (California Building Code Section 105)

Applicant's Responsibility: Provide contractors with copies of protocol  
Means of Enforcement: Conditions imposed on Building Permit  
Responsible Department: Community Development Department, Building Inspector

Standard for Determining Compliance: Enforcement Procedures and Appeal: Brisbane General Plan Program 22e  
Stop Work Order (Brisbane Municipal Code Section 15.08.050)/Board of Appeals (California Building Code Section 105)

Mitigation Measures: All unpaved access road, parking areas and construction staging areas paved or have water applied three times daily or have non-toxic soil stabilizers applied, and if visible soil material is carried onto adjacent streets, streets swept daily with water sweepers per Bay Area Air Quality Management District construction dust control measures  
Implement mitigations during construction  
Conditions imposed on Building Permit  
Building Inspector, Public Works Department and Bay Area Air Quality Management District  
Regular site inspections during construction  
Bay Area Air Quality Management District CEQA Guidelines, Table 2  
Bay Area Air Quality Management District violations/appeals procedures

Applicant's Responsibility: Provide contractors with copies of protocol  
Means of Enforcement: Conditions imposed on Building Permit  
Responsible Department: Public Works Department and Bay Area Air Quality Management District

Means/Timing of Reporting: Regular site inspections during construction  
Standard for Determining Compliance: Enforcement Procedures and Appeal: Bay Area Air Quality Management District CEQA Guidelines, Table 2

Mitigation Measure: Compliance with the protocol established in Public Resources Code Sections 21083.2.(b)-(f) & (i) and State CEQA Guidelines Sections 15064.5(d), (e) & (f) in the event of an accidental discovery of human remains or of historical or unique archaeological resources.  
Provide contractors with copies of protocol  
Conditions imposed on Building Permit

G.I. 102

G.I. 145

**Responsible Department:**  
Means/Timing of Reporting:  
Standard for Determining Compliance:

**Building Inspector**  
Regular inspections during construction  
Public Resources Code Sections 21083.2, (b)-(f) and  
(i), State CEQA Guidelines Sections 15064.5(d), (e)  
& (f)

**Enforcement Procedures and Appeal:**

Stop Work Order (Brisbane Municipal Code  
Section 15.08.050)/Board of Appeals (California  
Building Code Section 105)

**Mitigation Measure:**

Licensed geotechnical engineer, civil engineer, soils  
engineer engineering geologist or testing agency to  
oversee project to assure that the geotechnical  
investigation's recommendations have been  
properly implemented.

**Applicant's Responsibility:**

Schedule consultant's inspections during  
construction.

**Means of Enforcement:**

Conditions imposed on Building Permit  
Building Inspector

**Responsible Department:**

Building Inspector

**Means/Timing of Reporting:**

Consultant's certification prior to issuance of  
Certificate of Occupancy

**Standard for Determining Compliance:**

Geotechnical investigation per consultant

**Enforcement Procedures and Appeal:**

Stop Work Order (Brisbane Municipal Code  
Section 15.08.050)/Board of Appeals (California  
Building Code Section 105)

**Mitigation Measure:**

Acoustical analysis showing that the proposed  
design will limit exterior noise to 45 dB in any  
habitable room

**Applicant's Responsibility:**

Address in plans to be submitted for Building  
Permit

**Means of Enforcement:**

Conditions imposed on Building Permit

**Responsible Department:**

Building Inspector

**Means/Timing of Reporting:**

Regular inspections during construction

**Standard for Determining Compliance:**

California Code of Regulations, Title 24, Appendix  
Chapter 35 (California Noise Insulation Standards)

**Enforcement Procedures and Appeal:**

Stop Work Order (Brisbane Municipal Code  
Section 15.08.050)/Board of Appeals (California  
Building Code Section 105)

Prior to final inspection, a report on the relative success of the mitigation measures shall be  
prepared, to be forwarded to the Planning Commission for its information.

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**OPEN SPACE PLAN FOR THE CITY OF BRISBANE**  
**BACKGROUND AND REFERENCE INFORMATION**

Lot #1: 5, Parcel B  
Owner: Albert D Engel  
Size: 0.17 acres  
Assessor's Lot # 007-350-210  
Assessed Value: \$133,250  
Zoning/Central Plan Designation: Brisbane Acres R-1 (single family) 20,000

Parcel B of former "Lot" 5 is a 0.17-acre site situated atop an eastern spur ridge of San  
Bruno Mountain in the northeastern portion of the Brisbane Acres subdivision. The site has  
an east slope aspect and is the southern portion of the original Brisbane Acres subdivided  
"Lot" 5, "Lot" 5 was subdivided in 1967, creating the subject property and Parcel A, a  
0.46-acre site, which contains a single family dwelling. Parcel B is part of the Bayview  
watershed, and its relatively gentle slopes average 7-15 percent. Elevations range from  
roughly 192 feet to the east to 212 feet above sea level to the west.

Parcel B of former "Lot" 5 forms a portion of the subject's western perimeter and is  
bound by private property previously related to as Thomas Avenue on the west, parcel A  
as William Avenue on the east, and San Bruno Avenue on the south. Open space is  
located to the east of parcel B across APN 007-350-300 "Lot" 12, but the subject site is  
adjacent to urbanized areas and is easily accessible by various modes from San Bruno  
Avenue. Parcel B has a high relationship in public infrastructure and a fifteen foot wide  
sanitary sewer easement runs diagonally through the property from private unimproved  
William Avenue to parcel A of former "Lot" 5. There are no pending development  
proposals for parcel B.

In addition to its exceptional accessibility, parcel B's scenic and recreational resources  
are also valuable. While parcel B is located outside of the central Brisbane watershed, it  
is highly visible from off site, particularly from the south and from adjacent roadways to the east.  
On site views are extensive to the east and south.

Non-native plants cover the site; French broom and fennel dominate the westerly side and  
ocipant occurs elsewhere. Italian distich, wild radish, field mustard, and a single pine  
tree also occur. Few native species grow on site, but isolated toyon plants were observed  
Because the site is overgrown with weedy non-native plants and it is far from suitable  
managed butterfly habitat, it has a very low relationship to the San Bruno Mountain  
HCP. A biological survey performed on the parcel by Thomas Reid Associates, Habitat  
Plant of the endangered Mission blue or callippe silvertip butterfly, neither species  
has ever been observed on or near the subject property by Thomas Reid Associates.

Both high- and low-intensity recreation are feasible on parcel B of former "Lot" 5, but  
because riparian bluffs most of the site, its interior is accessible by foot only. And  
because parcel B is almost completely surrounded by roadways and a developed parcel  
abuts to the north, its trail connector potential is extremely low.

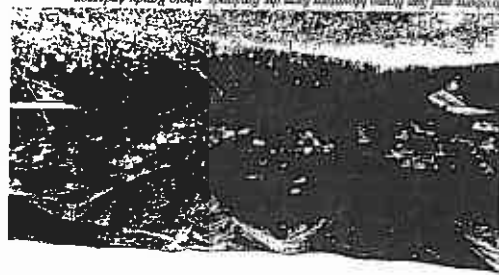


Photo taken from San Bruno Mountain from the right side. Photo Randy Anderson

Prepared for the Brisbane City Council  
By  
The Brisbane Open Space & Ecology Committee

- Members  
W Clarke Conway, Chair  
Raymond C Miller, Vice Chair  
Michael Barnes  
Elana Court  
Public Member  
Planning Commission  
Public Member  
Alexandra Early  
Public Member  
Parks, Beaches & Recreation Commission  
City Council  
City Council  
City Council  
City Council
- Consultants  
Randy Anderson, Bruce Randolph Anderson & Associates
- Staff  
Fred Smith, Assistant to the City Manager  
Raphael Brines, Open Space Intern

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REVISED OPERATING PROGRAM FOR ADMINISTRATIVE PARCEL 2-03  
(draft of 3/28/05)

Planning Area: Southeast Ridge (2)

Administrative Parcel: Brisbane Acres (03)

Location and description: Brisbane Acres is an area of 154 acres located above the existing town of Brisbane and consisting of steep slopes containing brush and grassland. It is bordered on the west by the transmission line, on the north by Brisbane, on the east by Bayshore Boulevard and on the south by the County Park and South Slope Parcels. It has been divided into two major management units, Unit 2-03-01 and as such is considered the more sensitive of the two (See Figures 2-03 A-C)

As development comes forward for individual lots within Administrative Parcel 2-03, each lot is assigned a subsequent management unit number. Sub-Management Units developed are shown in Figures 2-03-03 A to 2-03-14 A

Ownership: The area consists of more than one hundred single lots which are owned by numerous individuals

Project: The area is currently zoned for single family residences. Persons purchasing lots in Brisbane Acres had the intention of developing single family homes on them, however, because of the steep terrain many portions of Brisbane Acres are undevelopable (Figure 2-03 F)

Status: Management Units 2-03-01 and 2-03-02 are unplanned. Management Units 2-03-03, 2-03-04, 2-03-05, 2-03-08, 2-03-09, 2-03-11 and 2-03-12 are planned for single family residences. Management Unit 2-03-06 is planned for a City operated Water Tank. Management Unit 2-03-07 is planned for a office/light industrial building. Management Unit 2-03-10 is planned for a remodel and addition to an existing residence. Management Unit 2-03-13 is planned for an 8-unit townhouse project. Management Unit 2-03-14 is planned for a 30-unit condominium project.

Biological Issues: Many portions of Brisbane Acres is habitat for the both the Callippe and the Mission Blue (See Figures 2-03 D-E). In addition, many range limit and endemic plants exist there, and the area is known habitat for the rare plant Helianthella castanea, although this plant was not found during the 1980-81 Biological Study.

Impact: Development of Brisbane Acres will destroy habitat now supporting the Callippe, Mission Blue and range limit/endemic plants, and habitat where a rare plant may occur.

HCP Objectives -- Specific Conservation Needs: Because steep slopes and limited access somewhat preclude the introduction of habitat enhancement measures, the approach of the HCP in this case will be to protect the interface between development and open space, mitigate development effects in and around developed areas, leave the open space untreated and protect the area from vandalism. If development proceeds in Brisbane Acres, the open space adjoining development areas will have to be protected by creating an interface between the two. This interface will initially be in the form of fencing to keep grading within prescribed boundaries and finally in the form of a fire break vegetation surrounding development areas. Development impacts could be reduced by reclaiming cut and fill slopes with native species, including Callippe and Mission Blue host plants, and by using measures to control water runoff in order to prevent erosion. Where appropriate, host plant relocation and plan revision may also be used to mitigate impact.

At this time it is recommended that the open space be left untreated and, if necessary, patrolled in order to control vandalism.

Operating Program for Management Units 2-03-01 and 2-03-02

Obligations: Landowners have the following obligations

- 1 Compliance with mitigation measures set forth in the Operating Program for Management Units 2-03-01 and 2-03-02
- 2 Compliance with the Planning Assistance requirements set forth in the Operating Program for Management Units 2-03-01 and 2-03-02
- 3 Participating in the regulatory provisions and Funding Program of this HCP
- 4 Prior to any grading and/or development project and/or the removal or damage of or use of pesticides on vegetation in excess of 500 square feet in any calendar year in the Brisbane Acres

(a) an environmental assessment must be prepared. Any such environmental assessment must describe the impacts on habitat of the Mission Blue and Callippe Silver-spot and must discuss mitigation measures. Notice of development and/or grading proposals and copies of all environmental documents must be sent to the California State Department of Fish and Game, the U.S. Fish and Wildlife Service and the Plan Operator, and

(b) the Landowner must demonstrate that approval of the grading and/or development proposal is consistent with protecting 40% of the Brisbane Acres as Conserved Habitat. The Landowners may demonstrate consistency through the use of one or more of the following mitigation measures

- (i) dedication of habitat easements, open space in fee and/or transfer of allowed density to other parcels in the Brisbane Acres
  - (ii) acquisition of off-site parcels for dedication as permanent Conserved Habitat
  - (iii) clustering of development
  - (iv) imposition of landscaping restrictions on undeveloped portions of sites to retain natural vegetation
  - (v) voluntary merging of parcels to permit clustered development and habitat protection
  - (vi) grading plans which are designed to minimize habitat destruction
  - (vii) development siting standards to preserve broad corridors of natural habitat
  - (viii) reclamation plans for temporarily disturbed areas
- 5 Require through CC&Rs that future owners observe general provisions regarding protection of Conserved Habitat
  - 6 Submit the final grading plan used to obtain a grading permit and a revegetation plan to the Plan Operator for review. The plan shall provide for temporary fencing to protect all adjacent Conserved Habitat.

Operating Program for Management Unit 2-03-01

Obligations: The landowner/developer has the following obligations

- 1 HCP Funding Program. Upon occupancy of the home the Landowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing.

G. I. 148

**Operating Program for Management Unit 2-03-04**

**Obligations:** The landowner/developer has the following obligations

- 1 No construction or conversion to urban uses shall be permitted in the area designated for habitat easement as shown in Figure 2-03-04 B
- 2 Prior to any construction within Management Unit 2-03-04, the Landowner shall provide for the following
  - a. Creation of a Habitat Easement over undeveloped Portions of the Parcel. The Landowner shall agree to create a habitat easement on all undeveloped land within Management Unit 2-03-04 as shown in Figure 2-03-04 B. The easement shall be created by the Landowner at the time of receipt of a grading permit from the City of Brisbane
  - b. HCP Funding Program. Upon occupancy of the home the Landowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing
  - c. Construction Provisions. In accordance with Paragraph 1 above, the Landowner shall not disturb any land in the habitat easement area as shown in Figure 2-03-04 B
  - d. Reclamation Provisions. With respect to any areas which are to be graded or disturbed and hereafter maintained as habitat, the Landowner shall prepare a Reclamation Plan for approval by the City and County in accordance with normal standards and procedures for grading permits. These provide for grading, erosion and run-off controls, and revegetation with native grassland species approved by the Plan Operator. In addition, the Landowner shall clearly define on the ground (by snow or two strand wire fencing or other methods) the limits of disturbance anticipated and shall limit the construction disturbance to said limits as provided in fencing and signing provisions of the MOU and Chapter 5. The fencing shall be erected at the boundary between the undisturbed area and the permanently disturbed area as shown in Figure 2-03-04 B
  - e. Pesticide Control. The Landowner is cannot perform aerial or large-scale spraying of pesticides without the approval of the Plan Operator
  - f. Buffer Areas. The Landowner must establish and maintain a fire buffer around the residence to protect it from fire. The buffer area must be approved by the City
  - g. Inspection. The Landowner shall, while developing Management Unit 2-03-04, contract for an inspector acting for the County as Plan Operator to monitor grading and revegetation activities through completion of the reclamation activities

**Operating Program for Management Unit 2-03-05**

**Obligations:** The landowner/developer has the following obligations

- 1 HCP Funding Program. Upon occupancy of the home the Landowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing
- 2 Prior to any construction within Management Unit 2-03-05, the City shall provide for the following
  - a. Construction Provisions. In accordance with Paragraph 1 above, the City shall not disturb any land in the habitat easement area as shown in Figure 2-03-05 B
  - b. Reclamation Provisions. With respect to any areas which are to be graded or disturbed and hereafter maintained as habitat, the Landowner shall prepare a Reclamation Plan for approval by the City and County in accordance with normal standards and procedures for grading permits. These provide for grading, erosion and run-off controls, and revegetation with native grassland species approved by the Plan Operator. In addition, the Landowner shall clearly define on the ground (by snow or two strand wire fencing or other methods) the limits of disturbance anticipated and shall limit the construction disturbance to said limits as provided in fencing and signing provisions of the MOU and Chapter 5. The fencing shall be erected at the boundary between the undisturbed area and the permanently disturbed area as shown in Figure 2-03-05 B
  - c. Pesticide Control. The Landowner is cannot perform aerial or large-scale spraying of pesticides without the approval of the Plan Operator
  - d. Buffer Areas. The Landowner must establish and maintain a fire buffer around the residence to protect it from fire. The buffer area must be approved by the City
  - e. Inspection. The Landowner shall, while developing Management Unit 2-03-05, contract for an inspector acting for the County as Plan Operator to monitor grading and revegetation activities through completion of the reclamation activities

**Operating Program for Management Unit 2-03-06**

**Obligations:** The landowner/developer has the following obligations

- 1 HCP Funding Program. Upon occupancy of the home the Landowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing
- 2 Prior to any construction within Management Unit 2-03-06, the City shall provide for the following
  - a. Construction Provisions. In accordance with Paragraph 1 above, the City shall not disturb any land outside the habitat fence as shown in Figure 2-03-06 B
  - b. Reclamation Provisions. With respect to any areas which are to be graded or disturbed and hereafter maintained as habitat, the Landowner shall prepare a Reclamation Plan for approval by the City and County in accordance with normal standards and procedures for grading permits. These provide for grading, erosion and run-off controls, and revegetation with native grassland species approved by the Plan Operator. In addition, the Landowner shall clearly define on the ground (by snow or two strand wire fencing or other methods) the limits of disturbance anticipated and shall limit the construction disturbance to said limits as provided in fencing and signing provisions of the MOU and Chapter 5. The fencing shall be erected at the boundary between the undisturbed area and the permanently disturbed area as shown in Figure 2-03-06 B
  - c. Pesticide Control. The Landowner is cannot perform aerial or large-scale spraying of pesticides without the approval of the Plan Operator
  - d. Buffer Areas. The Landowner must establish and maintain a fire buffer around the residence to protect it from fire. The buffer area must be approved by the City
  - e. Inspection. The Landowner shall, while developing Management Unit 2-03-06, contract for an inspector acting for the County as Plan Operator to monitor grading and revegetation activities through completion of the reclamation activities

**Operating Program for Management Unit 2-03-07**

**Obligations:** The landowner/developer has the following obligations

- 1 HCP Funding Program. Upon occupancy of the building, the Landowner shall pay an annual assessment of \$10.00 per 1,000 square feet (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing
- 2 HCP Funding Program. Upon occupancy of the home the Landowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing
- 3 Reclamation Provisions. With respect to any areas which are to be graded or disturbed and hereafter maintained as habitat, the Landowner shall prepare a Reclamation Plan for approval by the City and County in accordance with normal standards and procedures for grading permits. These provide for grading, erosion and run-off controls, and revegetation with native grassland species approved by the Plan Operator. In addition, the Landowner shall clearly define on the ground (by snow or two strand wire fencing or other methods) the limits of disturbance anticipated and shall limit the construction disturbance to said limits as provided in fencing and signing provisions of the MOU and Chapter 5. The fencing shall be erected at the boundary between the undisturbed area and the permanently disturbed area as shown in Figure 2-03-07 B
- 4 Pesticide Control. The Landowner is cannot perform aerial or large-scale spraying of pesticides without the approval of the Plan Operator
- 5 Buffer Areas. The Landowner must establish and maintain a fire buffer around the residence to protect it from fire. The buffer area must be approved by the City

b. Reclamation Provisions. With respect to any areas which are to be graded or disturbed and hereafter maintained as habitat, the City shall prepare a Reclamation Plan for approval by the County in accordance with normal standards and procedures for grading permits. These provide for grading, erosion and run-off controls, and revegetation with native grassland species approved by the Plan Operator. In addition, the City shall clearly define on the ground (by snow or two strand wire fencing or other methods) the limits of disturbance anticipated and shall limit the construction disturbance to said limits as provided in fencing and signing provisions of the MOU and Chapter 5. The fencing shall be erected at the boundary between the undisturbed area and the permanently disturbed area as shown in Figure 2-03-06 B

c. Pesticide Control. The City is cannot perform aerial or large-scale spraying of pesticides without the approval of the Plan Operator

d. Buffer Areas. The City must establish and maintain a fire buffer around the water tank to protect it from fire. The buffer area must be approved by the City Fire Marshal

e. Inspection. The Landowner shall, while developing Management Unit 2-03-06, contract for an inspector acting for the County as Plan Operator to monitor grading and revegetation activities through completion of the reclamation activities

**Operating Program for Management Unit 2-03-08**

**Obligations:** The landowner/developer has the following obligations

- 1 HCP Funding Program. Upon occupancy of the building, the Landowner shall pay an annual assessment of \$10.00 per 1,000 square feet (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing
- 2 HCP Funding Program. Upon occupancy of the home the Landowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing
- 3 Reclamation Provisions. With respect to any areas which are to be graded or disturbed and hereafter maintained as habitat, the Landowner shall prepare a Reclamation Plan for approval by the City and County in accordance with normal standards and procedures for grading permits. These provide for grading, erosion and run-off controls, and revegetation with native grassland species approved by the Plan Operator. In addition, the Landowner shall clearly define on the ground (by snow or two strand wire fencing or other methods) the limits of disturbance anticipated and shall limit the construction disturbance to said limits as provided in fencing and signing provisions of the MOU and Chapter 5. The fencing shall be erected at the boundary between the undisturbed area and the permanently disturbed area as shown in Figure 2-03-08 B
- 4 Pesticide Control. The Landowner is cannot perform aerial or large-scale spraying of pesticides without the approval of the Plan Operator
- 5 Buffer Areas. The Landowner must establish and maintain a fire buffer around the residence to protect it from fire. The buffer area must be approved by the City

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6 In the Landowner shall, while constructing the single family home on Management Unit 2-03-08, contract for an inspector acting for the County as Plan Operator to monitor grading and revegetation activities through completion of the reclamation activities

**Operating Program for Management Unit 2-03-09**

**Obligations:** The landowner/developer has the following obligations

- 1 **HCP Funding Program:** Upon occupancy of the two homes each homeowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing

**Operating Program for Management Unit 2-03-10**

**Obligations:** The landowner/developer has the following obligations

- 1 **HCP Funding Program:** Upon occupancy of the home the Landowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing

**Operating Program for Management Unit 2-03-11**

**Obligations:** The landowner/developer has the following obligations

- 1 **HCP Funding Program:** Upon occupancy of the single family home, the homeowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing

**Operating Program for Management Unit 2-03-12**

**Obligations:** The landowner/developer has the following obligations

- 1 **HCP Funding Program:** Upon occupancy of the single family home, the homeowner shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing

**Operating Program for Management Unit 2-03-13**

**Obligations:** The landowner/developer has the following obligations

- 1 **Reclamation Provisions:** With respect to any areas which are to be graded or disturbed and hereafter maintained as open space, the developer shall prepare a Reclamation Plan for approval by the County in accordance with HCP standards. These provide for erosion and run-off controls, removal of exotic pest plants (in particular broom) and revegetation with native grassland species approved by the Plan Operator. In addition, the Applicant shall clearly define on the ground (by snow or two strand wire fencing or other methods) the limits of disturbance anticipated and shall limit the construction disturbance to said limits as provided in fencing and signing provisions of the HCP. Where feasible, native oak trees and shrubs shall be avoided. The fencing shall be erected at the boundary between the undisturbed area and the permanently disturbed area of the project

- 2 **Creation of a Habitat Easement over Remaining Open Space:** The Landowner shall agree to create a habitat easement over the upper portion of the site that is not developed and which has been restored as per the Reclamation Plan. The easement shall be created by the Landowner at the time of receipt of a grading permit from the City of Brisbane. The landowner shall maintain the easement free of exotic pest plants

3 **HCP Funding Program:** Upon occupancy of each of the 8 townhomes, homeowners shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing

**Operating Program for Management Unit 2-03-14**

**Obligations:** The landowner/developer has the following obligations

- 1 **Reclamation Provisions:** With respect to any areas which are to be graded or disturbed and hereafter maintained as open space, the developer shall prepare a Reclamation Plan for approval by the County in accordance with HCP standards. These provide for erosion and run-off controls, removal of exotic pest plants (in particular broom) and revegetation with native grassland species approved by the Plan Operator. The Reclamation Plan shall also include the following elements

- 1) All French broom, Siratus broom, fennel oxalis, bristly ox-tongue, Italian thistle, weedy grasses, Eucalyptus seedlings and saplings, and other invasives plants that pose a threat to butterfly habitat must be controlled to the satisfaction of the HCP Manager
- 2) Three to five habitat islands totaling 0.5 acre in size shall be installed to provide Mission blue and callippe silverspot habitat
- 3) The restoration site shall be managed for a period of five years after installation with continued plant replacement and weed control conducted throughout the restoration site as needed to maintain the restoration standards identified in the Reclamation Plan
- 4) During the 5-year maintenance period, the professional landscaping crew in charge of the restoration site shall arrange site inspections with the HCP Manager at least once a year and provide annual reports on the status of the restoration work. Recommendations provided by the HCP Manager shall be incorporated into the restoration program

In addition, the Applicant shall clearly define on the ground (by snow or two strand wire fencing or other methods) the limits of disturbance anticipated and shall limit the construction disturbance to said limits as provided in fencing and signing provisions of the HCP. Where feasible, native oak trees and shrubs shall be avoided. The fencing shall be erected at the boundary between the undisturbed area and the permanently disturbed area of the project

- 2 **Creation of a Habitat Easement over Remaining Open Space:** The Landowner shall agree to create a habitat easement over the upper portion of the site that is not developed and which has been restored as per the Reclamation Plan. The easement shall be created by the Landowner at the time of receipt of a grading permit from the City of Brisbane. The landowner shall maintain the easement free of exotic pest plants

- 3 **HCP Funding Program:** Upon occupancy of each of the 30 condominiums, homeowners shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing

**Operating Program for Management Unit 2-03-15**

**Obligations:** The landowner/developer has the following obligations

- 1 **HCP Funding Program:** Upon occupancy of the three single-family homes, the homeowners shall pay an annual assessment of \$20.00 per year (1982 dollars) adjusted for inflation each year. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V-B for details of funding and timing

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Operating Program for Management Unit 2-03-16

Obligations: The landowner/developer has the following obligations

- 1. Dedication of Open Space Humboldt Partners has offered to dedicate Lot 49 to the City of Brisbane as permanent open space. The dedication shall take place in accordance with conditions of the City of Brisbane for development of Management Unit 2-03-16

The Plan Operator has the following obligations:

- 1. Prepare and execute an annual operating program for the Conserved Habitat within Administrative Parcel 2-03.
- 2. Monitor the effect of all activities within development areas on adjacent Conserved Habitat and provide advice and direction to the Landowners to assist in compliance with the obligations described above
- 3. Designate vegetation materials for use in Reclamation Plans and review such Reclamation Plans submitted by Landowners with respect to Administrative Parcel 2-03 in a timely fashion to avoid delays in the implementation of such Plans;
- 4. Accept dedications of Conserved Habitat within Administrative Parcel 2-03

Operating Program for Management Unit 2-03-17

Obligations: The landowner/developer has the following obligations

Operating Program for Management Unit 2 03 17

Obligations: The landowner/developer has the following obligations

- 1. HCP Funding Program. Upon occupancy of the single-family home, the homeowner shall pay an annual assessment based upon the amount in effect at that time required to be paid by new developments (not to exceed \$800 00), adjusted for inflation each year thereafter. The funds will be paid to the San Bruno Mountain Conservation Fund. See Chapter V B for details of funding and timing
- 2. All French broom, Stratus broom, fennel, oxalis, bristly ox-tongue, Italian thistle, weedy grasses, Eucalyptus seedlings and saplings, and other invasive plants that pose a threat to butterfly habitat on San Bruno Mountain must be controlled to the satisfaction of the HCP Manager

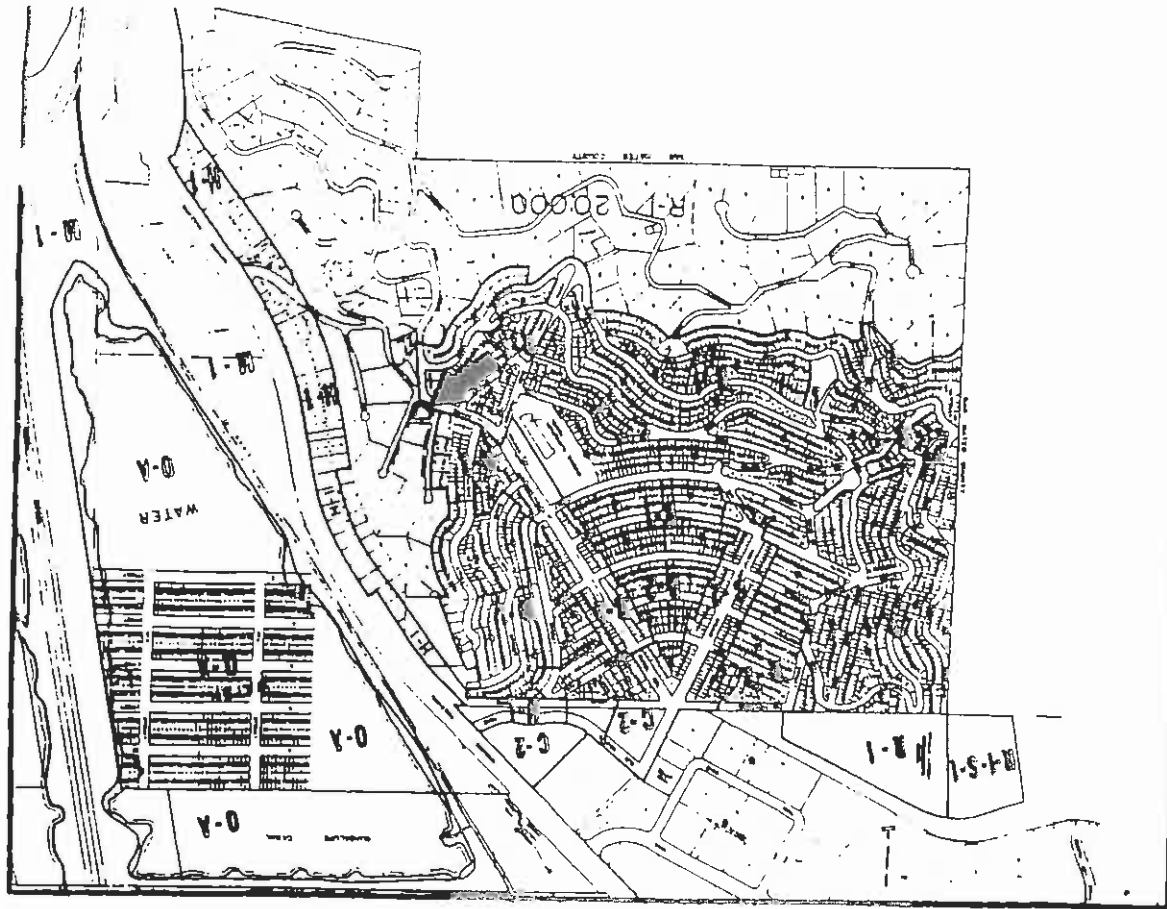
Management Units:

- 1. 2-03-01. This Management Unit is in close proximity to existing residential sections of Brisbane, so is probably already affected to some extent by adjoining development and under greater threat of continued development than Unit 2-03-02
  - a. Until development plans come forth, this unit should be left untreated and protected from vandalism. If development is proposed, a new operating program is indicated. This will include the aforementioned mitigation/open space protection measures
- 2. 2-03-02. This Management Unit is adjacent to county parklands and the South Slope Administrative Parcel. Of the two Brisbane Acres Management Units, this one is utilized by the butterflies of concern to a greater extent and contains the habitat of rare, endemic and range limit plants
  - a. Unless development is proposed, this area should be left untreated and protected from vandalism as necessary. If development is planned, this operating program will change to include the mitigation and open space protection measures mentioned above, including possible host plant relocation
- 3. 2-03-03. This Management Unit comprises a quarter acre parcel which was owned by the Damelies (Lot 33 APN# 007-555-150, 100 Annis Road). A single family residence is proposed for development on this parcel
- 4. 2-03-04. This Management Unit comprises a half acre parcel owned by the Chm's (Parcel 12 of Lot 29 APN #007-570-230, 600 Harold Road). A single family residence is proposed for development on this parcel
- 5. 2-03-05. This Management Unit comprises a one half parcel being processed for development by James Thomas (Parcel 1 of Lot 15, APN #007-555-160, 254 Annis Road). A single family residence is proposed for development on this parcel (Figure 2-03-05 B)
- 6. 2-03-06. The City of Brisbane has an easement over this Management Unit for a City operated water tank (Lot 62, APN# 007-530-090)
- 7. 2-03-07. This parcel is referred to as the Worldie property. It is located on Lot 11 of Highway Lots at 3750 Bayshore Blvd (APN# 007-350-050). An office/light industrial building is proposed on the parcel (Figure 2-03-07 B)
- 8. 2-03-08. This Management Unit comprises a one acre parcel being processed for development by Haji Jameel (Lot 93, APN #007-502-060, 930 Humboldt Road). A single family residence is proposed for development on this parcel
- 9. 2-03-09. This Management Unit comprises a one acre parcel being processed for development by Johnson Wong (Lot 9, APN #007-553-140, Northeast corner of Joy Avenue and San Bruno Avenue). Two single family residences are proposed for development on this parcel
- 10. 2-03-10. This Management Unit comprises a parcel being processed for an existing home addition by Lenny Lind (APN #007-463-040, 1122 Humboldt Road). The addition would be built on approximately 1275 feet of the property which lies within the Brisbane Acres (Figures 2-03-10 A and B)
- 11. 2-03-11. This Management Unit comprises a parcel being processed for a single-family residence by Jack and Carol Chin. The project is located at 4050 Bayshore Boulevard (unrecorded Highway Lot 44 APN 007-560-040) (Figures 2-03-11 A and B)
- 12. 2-03-12. This Management Unit comprises a parcel being processed for a single-family residence by Michael Ibrahim. The project is located at 488 Kings Road (unrecorded Highway Lot 90, APN 007-502-020) (Figures 2-03-12 A and B)
- 13. 2-03-13. This Management Unit comprises the lower half of three parcels (APN 007-560-060, -240 and -250) located on Bayshore Boulevard being processed for an 8-unit townhouse development by Greg Ward.

G.I. 151

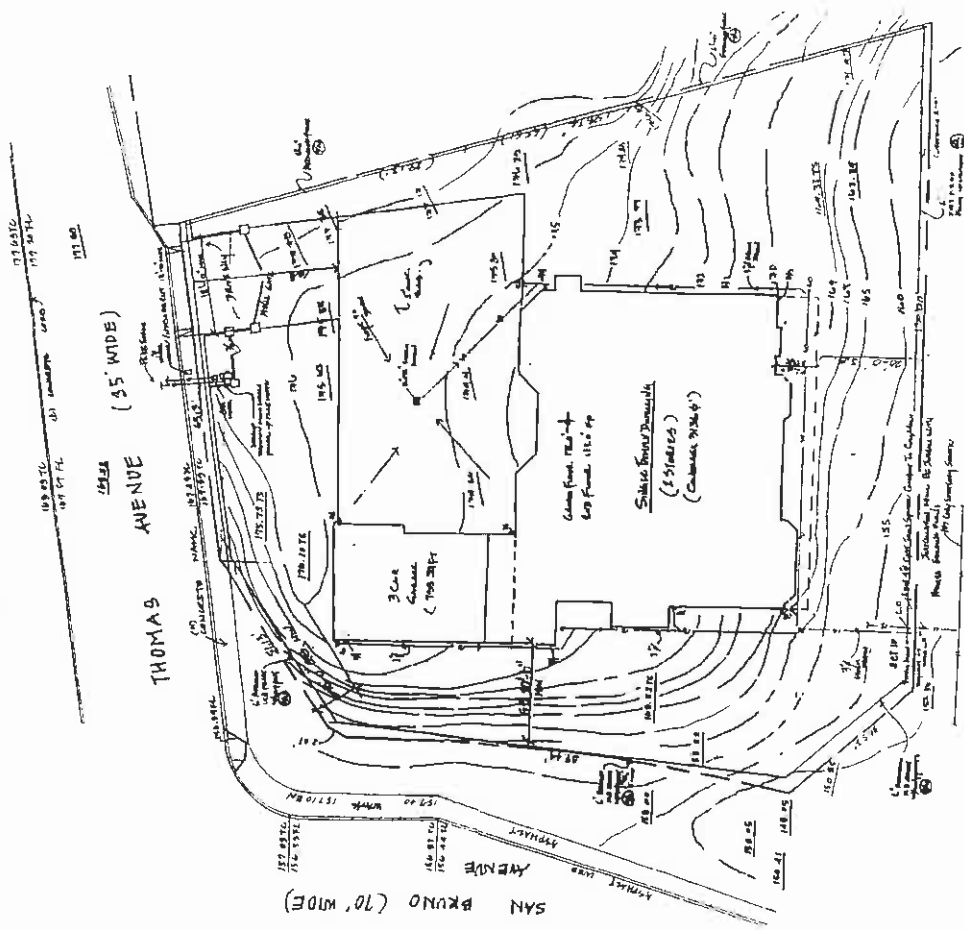
- One Slop De Inc The project is located at 4010-4030 Bayshore Boulevard (Figures 2-03-13 A and B)
- 14. 2-03-14. This Management Unit comprises the lower half of six parcels (APN 007-350-040, -050, -060, -070, -080, and -090) located on Bayshore Boulevard being processed for a 30-unit condominium development by Charles Ng The project is located at 3710-3760 Bayshore Boulevard (Figures 2-03-14 A, B and C)
- 15. 2-03-15. This Management Unit comprises a parcel being processed for three single-family residences by Humboldt Road Partners on Lot 24 APN 007-554-030 (Figures 2-03-15 A)
- 16. 2-03-16. This Management Unit comprises a parcel being donated to the City of Brisbane for permanent open space by Humboldt Road Partners. The parcel is Lot 49, APN 007-570-190 (Figures 2-03-16 A)
- 17. 2-03-17. This Management Unit comprises a 0.5 acre parcel being processed for a single family residence by Nelson Cheung The property is located at 8 Thomas Avenue (corner of Thomas Avenue and San Bruno Avenue), Lot 5-B, APN 007-350-210 (Figures 2-03-17 A and B)

Figure 02-03-17A, Brisbane Acres, Brisbane Avenue, Brisbane, CA  
 Location of APN 007-350-210, 8 Thomas Avenue, Brisbane, CA



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Figure 02-03-17B, Brisbane Acres  
 Development Envelope APN 007-350-210, 8 Thomas Avenue, Brisbane, CA.



G.1.153

June 3, 2004  
Case Code: BBIO-Cheung

Nelson Cheung  
J.K. Construction  
1052 Schwern Street  
Daly City, CA 94014

Rc: Biological Survey for Nelson Property, Bnsbane, CA; APN #007-350-210

Mr. Cheung:

At your request, Thomas Reid Associates conducted a biological survey for a project site located on the corner of San Bruno and Thomas Avenues (APN # 007-350-210) in the City of Bnsbane, California. The purpose of this survey is to fulfill pre-development requirements as required by the City of Bnsbane.

Setting/Project Description

The project site is located approximately one-half mile west of Highway 101 and one-quarter mile north of San Bruno Mountain County Park. Adjacent surrounding land uses include residential development and undeveloped grassland habitat. Specifically, the property is bordered by San Bruno Avenue and single-family homes to the south, Thomas Avenue and an apartment complex to the west, and single-family homes, with surrounding grassland to the east and north. The project site sits on a southeast-facing slope and ranges in elevation from approximately 150 feet to 180 feet. The proposed project consists of the construction of one single-family home on the vacant parcel.

Methods

The property was surveyed on May 28, 2004, between 1035 and 1130 by Thomas Reid Associates biologist, Kim Briones. The entire project site was surveyed on foot to determine if any special-status plants or animals were present or could potentially occur within the project site. Based on our extensive knowledge and familiarity with special-status plants and animals known to occur in the project vicinity, the California Natural Diversity Database (CNDDB) was not queried prior to conducting this survey. Given that three Federally Endangered butterflies (Mission blue butterfly, Callippe silverspot butterfly, and San Bruno elfin) and their associated host plants are known to occur within the vicinity of the project site (less than 5 miles away), Ms Briones paid particular attention to their potential presence.

Results

At the time of the survey, the majority of the project site had been graded, with the exception of the property borders. Based on a previous conversation with you, we understand that the City of Bnsbane requested this action. As a result, the majority of the project site did not support vegetation. However, vegetation still present on the property borders included French broom (*Genista monspessulana*), ice plant (Family - Aizoaceae), fennel (*Foeniculum vulgare*),

Conservation Planning and Implementation  Environmental Impact Analysis  
Geographic Information Systems  Wetland Delineation  Biological Surveys

California poppy (*Eschscholzia californica*), one prickly pear (*Opuntia* sp.), wild (Raphanus sativus), and various annual grasses. In order to understand what vegetation might have been present within the project site prior to grading activities, adjacent vegetation was noted as well. Adjacent vegetation observed included rumex (*Rumex* sp.), milkweed (*Asclepias* sp.), hottlebrush (*Callistemon* sp.), ice plant, pine trees (*Pinus* sp.), and various annual grasses. Wildlife detected on site or in the vicinity of the project site included Anna's hummingbird (*Calypte anna*), Northern mockingbird (*Mimus polyglottos*), barn swallow (*Hirundo rustica*), cliff swallow (*Petrochelidon pyrrhonota*), house sparrow (*Passer domesticus*), and turkey vulture (*Cathartes aura*). No special status plants or animals were detected during the course of this survey.

Discussion/Recommendations

Based on this survey and the existing conditions at the time of the survey, no special-status plants or animals were detected within the project site. Additionally, given that the bordering areas of the property and adjacent properties also did not appear to support special-status plants, specifically the listed butterfly host plants, the project area did not likely support those plant species prior to grading. Therefore, no additional surveys are warranted. However, if the applicant has not already done so, we recommend that the graded area be seeded to stabilize the soil. We recommend that a local seed mix consisting of native grasses such as purple needlegrass (*Navasella pulchra*) and wild rye (*Leymus* sp.) be used.

Disclaimer

This biological evaluation was completed to the best of Thomas Reid Associates' ability, using current data and regulatory information. The facts, statements, and information presented are correct to the best of our knowledge at the time of the survey. It should be acknowledged that there are limitations inherent in single-season site visits. Biological resources are dynamic, and site conditions could change at any time in the future. Similarly, regulatory requirements also change. Such changes could affect the statements and conclusions in this report, and would require re-evaluation.

Please do not hesitate to telephone if there are any questions. I can be reached at (650) 327-0429, extension 80.

Sincerely,

*Kim Briones*

Kim Briones  
Associate

Conservation Planning and Implementation  Environmental Impact Analysis  
Geographic Information Systems  Wetland Delineation  Biological Surveys

G. I. 154

RECEIVED

NOV 30 2004

Bldg/Planning Dept. Brisbane

Jeffrey Zhang  
1052 Schwerin Street  
Daly City, CA 94014

P O BOX 1400 SAN RAFAEL CALIFORNIA 94912 7410 / (415) 301 009

8 Thomas Avenue  
Page 2 - February 28, 2004

The purpose of our work was to perform a visual site observation and reconnaissance of exposed surface features, review existing soil and geologic data of the area, log representative exploration test borings and provide our opinion in the form of conclusions and recommendations as they relate to our specialty field of practice, geotechnical engineering.

Our scope of work included only subsurface conditions within the actual proposed house and garage structures and did not include accessory areas such as sidewalks, porches, decks, landscaping, garden and yard areas.

This report has been prepared with the understanding and assumption that the client will fully read and become familiar with the entire report and will carry out our recommendations to the fullest possible extent.

Geotechnical Investigation

Proposed Residence  
8 Thomas Avenue  
At San Bruno Avenue  
Brisbane, California

INTRODUCTION

This report presents the results of the geotechnical investigation we recently performed at the above site.

We understand that it is desired to construct a new two-story, wood-frame, single family residence over concrete basement, in the lower central eastern portion of the site as indicated to us by the Owner. We understand the new house will be about 60 feet by 50 feet square in size and the upslope western edge of the lower basement area will involve a concrete retaining wall up to about 7 to 8 feet in height that will gradually become of lesser height as the two side return walls extend towards the east. We understand the upper approximately flat to slightly sloping western portion of the property will be used for driveway, parking, turn around and a three car garage. We understand the building plans are still in the preliminary conceptual phase.

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G.1.114

SITE CONDITIONS

The irregular shaped 0.389 acre parcel is located adjacent to, upslope and north of San Bruno Avenue between Thomas Avenue and Williams Avenue as shown on the Site Location Map / Plate 1, Site Plan / Plate 2, and Area Topographical Map / Plate 12. We understand the current owner has recently purchased this property.

Our visual site observation and reconnaissance of exposed surface features indicates that the site is located upon the top of the medium size spur ridge area, with most of the City of Brisbane located downslope to the northwest and west, and Bayshore Boulevard located downslope to the east.

Observation of the 7.5 Minute Topographical Map of the San Francisco South Quadrangle prepared by the U.S. Geological Survey in 1956 and 1980, indicates that the site is located upon the medium size linear spur ridge area with the approximately flat to slightly sloping upper portion of this property having an extrapolated elevation of about 200 feet above sea level. The actual top of the natural spur ridge is located approximately in the western portion of this property. The upper western portion of this property appears to have been subject to previous moderate grading in the form of cutting and filling, in which the natural ridge top location was modified so as to create an almost level to slightly sloping pad area. San Bruno Avenue in front of this property reaches a summit opposite this property, with San Bruno Avenue sloping mildly downslope to the west with an inclination of 3 degrees and sloping downslope toward the east with an inclination of about 6 degrees.

The downslope eastern approximate half of the property appears generally to be at about natural grade and contour with an inclination of about 18 degrees to 20 degrees. The eastern portion of the property appears to be of relatively uniform parallel contours and was covered with dense grass at the time of our investigation. Downslope of the lower eastern property line, we observed a rough older graded dirt road known as Williams Avenue that currently is used as a walking path. Also, the sanitary sewer from the adjacent neighboring house to the north, descends downslope through the northeastern portion of the Zhang property in the form of a 15 foot wide sanitary easement and terminates at a sewer manhole located within Williams Avenue, with the sewer main extending along Williams Avenue to San Bruno Avenue. Along the upslope side of Williams Avenue, we observed an older, steeper roadway cut slope up to about 4 to 5 feet in height with a steeper inclination of about 45 degrees or 1:1 (horizontal to vertical) that is steeper than the current standard of road cut construction of 2:1. However, this older roadway cut slope appears to have performed relatively well to date.

In front of this property along San Bruno Avenue, we observed an older, steeper roadway cut slope varying from about 6 to 12 feet in height with a steeper inclination of about 45 degrees. Much of this cut slope exposes fractured sandstone with some local siltstone interbeds. The approximate top of the ridge also coincides with a geologic anticline with the dip of the siltstone interbeds dropping towards the east and west at about the top of the ridge. This roadway cut slope appears to have performed well to date. The cut slope area is locally covered with brush and also immediately above the cut slope, but with abundant areas of exposed bedrock. The roadway cut slope along Thomas Avenue is initially about 12 feet in height with an inclination of about 45

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degrees and gradually becomes of lesser height as one proceeds upslope towards the north. This cut slope also frequently exposes fractured and weathered sandstone bedrock materials with some local siltstone with local brush present. Located in the upper northwestern portion of the property is a rough graded dirt driveway with a mild inclination between Thomas Avenue and the greater pad. On both sides of this short rough graded driveway, we observed near vertical cut slopes varying from about 2 to 6 feet in height that exposes 0 to 4 feet of soil materials and variable sandstone bedrock materials varying from lightly fractured to locally intensely fractured. Located a short to moderate distance within the adjacent neighboring property to the north is another older rough graded cut slope up to about 6 feet in height with an average steeper inclination of about 45 degrees, that generally exposes about 2 to 4 feet of soil materials and then fractured sandstone bedrock materials.

The various older, steeper cut slopes within and adjacent to this property along with some apparent local more recent cut slopes are all much steeper than the current standard of cut slope construction. However, the older roadway cut slopes along San Bruno Avenue and Thomas Avenue expose sandstone bedrock materials and have performed well to date. The cut slope along Williams Avenue is also of similar steepness, but of lesser height and supports dense grass vegetation which would infer soil. Also, within the adjacent neighboring property to the north, the older, steeper cut slopes average about 45 degrees and appear to have performed well to date. However, within the Zhang property, we observed local more recent steeper cut slopes locally near vertical that will require either retaining walls or slope flattening so it to be more in conformity with contemporary cut slope grading practices.

Observation of the Preliminary Geologic Map of the San Francisco South Quadrangle prepared by M. Bonilla of the U.S. Geological Survey in 1971, indicates that the ridge top location upon which this site is located is plotted as being underlain by sedimentary sandstone bedrock materials (Kjfk) of the Franciscan formation of Jurassic-Cretaceous geologic age that are described as sandstone generally containing more than 2 percent potassium feldspar. The geology map indicates that deeper colluvial soils are not present within this property. However, the map does indicate that the greater adjacent downslope property to the east that is downslope of Williams Avenue is plotted as being underlain by colluvial soil materials (Osr), that are described as slope debris and ravinic fill, stoney silty to sandy clay; locally silty to clayey sand to gravel; yellowish orange to medium gray, unstratified or poorly stratified.

Observation of the Digital Database of the Preliminary Geologic Map of the San Francisco South Quadrangle as prepared by Wentworth, Lux, Schoonover, Graham and May, based upon the original map prepared by M. Bonilla, indicates that no plotted landslide deposits are shown at or adjacent to this site.

During the last 20 years, we have performed about 15 geotechnical investigations within the Brisbane area and have acquired aerial photos of Brisbane. Observation of a 1955 aerial photograph of Brisbane as flown by Pacific Aerial Surveys of Oakland showed the site to be in an apparent natural condition with Thomas Avenue present and with a rough graded dirt road for Williams Avenue. There appears to be no evidence of grading within the actual property line limits of this property and the vegetation appears to be a mixture of grass with some local brush. Observation of a 1993 aerial photo obtained from Pacific Aerial Surveys, indicates

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that the site generally is covered with brush with one moderately large grass area where perhaps some grading might have been performed.

The subsurface conditions at the site were explored by exploration test borings at the locations shown on the Site Plan, Plate 2. Each test boring was logged by our geotechnical engineer who recorded the various materials encountered. Logs of the test borings are presented on Plates 3 through 6. The Unified Soil Classification Chart which was used to describe the various materials encountered is presented on Plate 7.

Our investigation indicates that at the locations of Test Borings 1 through 7, the site is covered generally with sandy silt soils (ML), including both natural soils and some local fill, with some local underlying silty fine sand residual soils (SM), with the surface of the underlying weathered sandstone bedrock formation encountered at depths varying from about 2.8 feet to 5.6 feet below the existing ground surface. The underlying bedrock consisted of fine grain sandstone that was fractured to closely fractured and weathered to lightly weathered and of low hardness to medium hardness and locally hard. Test Borings 2, 3, 5, 6 and 7 encountered previous surface fill varying from about 1 foot to 3 feet in depth. However, along the southern edge of the pad area, we observed a more recent sliver fill slope varying from about 3 feet high to locally 10 feet high in the southeastern portion, with a steeper inclination of about 35 degrees with the fill slope exposing loose rocky soil.

RECOMMENDATIONS

Development Scheme - We recommend that the proposed development be planned, designed, constructed, and maintained so as not to impact upon, or influence, or surcharge, or undermine, or in any way influence adjacent land and development.

We recommend that in general the proposed development be built to conform with the existing hillside grade as much as practical, and cutting and filling generally be minimized as much as practical so as not to upset the existing gross site equilibrium.

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Foundations - We recommend that the proposed structure be placed upon a relatively well reinforced drilled pier and grade beam foundation system designed to resist soil creep forces and bottoming well into competent bedrock materials.

Wood joist floors should be used.

Minimum recommended foundation details are shown on Plates 8 and 9. However, the actual house foundation details will have to be determined by your structural civil engineer with our consultation.

Generally, all drilled piers should be tied together in the upslope-downslope direction.

All drilled piers should extend at least 6 feet below a 2:1 line (horizontal to vertical) below the lowest adjacent cut slope and below the lowest adjacent toe of retaining wall area so as to provide adequate lateral confinement for the drilled piers.

It is important that the pier holes be promptly poured after they are drilled. If the pier holes are not promptly poured after they are drilled, then the skin friction between the piers and the adjacent earth materials could be adversely affected resulting in a pier of lesser capacity than designed and the contractor and the owner would have to accept the fact that such not promptly poured piers could be of less than 100 percent of design effectiveness.

All pier holes should be dry and free of all loose materials at the time of the concrete pour. If water is present in any pier holes, then such water should be removed by the use of a commercial sump pump or other approved method. If the pier holes

experience any caving effects, then casing should be provided by the contractor with the casing removed as the concrete pour is made. If the rate of water and flow to the pier hole is such that it is not possible to pump the pier hole dry, then special tremie-type pouring methods should be used with the soil engineer present so that appropriate observation and recommendations can be provided.

In localized areas of deeper cut excavations where competent bedrock materials are encountered, spread footing foundations probably may be utilized. They may be designed for design load and bearing capacities not to exceed 3,000 pounds per square foot. The soil engineer should observe the drilling of pier holes and determine actual pier depths in the field. Those areas where spread footings may be used shall be specifically determined in the field by the soil engineer.

In the following two sections of this report, we have provided foundation recommendations for Foundation Zone I and II. Foundation Zone I consists of a medium strong drilled pier foundation system for use where the existing house is planned and currently planned garage location as approximately indicated on Plate 2. Foundation Zone II is a stronger and deeper foundation system for use either where deeper fill materials are present and/or where in close proximity to the adjacent steeper and higher roadway cut slopes that are present along both San Bruno Avenue and Thomas Avenue.

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Foundation Zone 1, Medium Drilled Piers - Minimum recommended Foundation Zone 1 details are shown on plate 8. However, the actual house foundation details will have to be determined by your structural civil engineer with our consultation.

The drilled piers should be at least 16 inches in diameter and drilled at least 6 feet or more into harder and competent well-confined bedrock materials.

For vertical loading, only the portion of the drilled pier within the underlying bedrock materials should be counted in design calculations. The portion of the drilled pier within the bedrock may be designed for total design loads of 800 pounds per square foot, skin friction.

The drilled piers should also be designed for lateral soil creep forces of at least 50 pounds per cubic foot, equivalent fluid weight, acting upon the top 5 feet of the piers upon 2 pier diameters.

The portion of the drilled piers within the underlying bedrock may be assumed to provide a design passive lateral resistance of 400 pounds per cubic foot, equivalent fluid weight, acting upon 2 pier diameters.

For resistance to transitory lateral loads such as wind or seismic, the soil materials may be assumed to provide a lateral passive resistance of 100 pounds per cubic foot, equivalent fluid weight, acting upon 2 pier diameters with the top 1 foot of the soil materials neglected. This value may be increased to 400 pounds per cubic foot, equivalent fluid weight, acting upon 2 pier diameters, once the surface of the underlying bedrock is reached.

For vertical uplift loading, a value of 400 pounds per square foot, skin friction, may be used only for the portion of the drilled pier within the underlying bedrock. No downward or upward vertical load design allowance should be allowed for the portion of the drilled pier within the soil zone.

The drilled pier foundation may be designed for the soil creep force acting with only dead load and live load and does not have to be designed with soil creep force acting at the same time as seismic or wind load, as soil creep is a gradual, long-term effect. We believe considering the soil creep force acting at the same time as all of the other code required forces can result in an excessively strong and therefore more costly foundation system than desired.

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Foundation Zone II, Strong Drilled Piers - Minimum recommended Foundation Zone II details are shown on Plate 9. However, the actual house foundation details will have to be determined by your structural civil engineer with our consultation.

The drilled piers should be at least 18 inches in diameter and drilled at least 9 feet or more into harder and competent well-confined bedrock materials.

For vertical loading, only the portion of the drilled pier within the underlying bedrock materials should be counted in design calculations. The portion of the drilled pier within the bedrock may be designed for total design loads of 800 pounds per square foot, skin friction.

The drilled piers should also be designed for lateral soil creep forces of at least 50 pounds per cubic foot, equivalent fluid weight, acting upon the top 8 feet of the piers upon 2 pier diameters.

The portion of the drilled piers within the underlying bedrock may be assumed to provide a design passive lateral resistance of 400 pounds per cubic foot, equivalent fluid weight, acting upon 2 pier diameters.

For resistance to transitory lateral loads such as wind or seismic, the soil materials may be assumed to provide a lateral passive resistance of 100 pounds per cubic foot, equivalent fluid weight, acting upon 2 pier diameters with the top 1 foot of the soil materials neglected. This value may be increased to 400 pounds per cubic foot, equivalent fluid weight, acting upon 2 pier diameters, once the surface of the underlying bedrock is reached.

for vertical uplift loading, a value of 400 pounds per square foot, skin friction, may be used only for the portion of the drilled pier within the underlying bedrock. No downward or upward vertical load design allowance should be allowed for the portion of the drilled pier within the soil zone.

The drilled pier foundation may be designed for the soil creep force acting with only dead load and live load and does not have to be designed with soil creep force acting at the same time as seismic or wind load, as soil creep is a gradual, long-term effect. We believe considering the soil creep force acting at the same time as all of the other code required forces can result in an excessively strong and therefore more costly foundation system than desired.

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Retaining Walls - In areas of level backslope, retaining walls should be designed for a lateral earth pressure of 45 pounds per cubic foot, equivalent fluid weight. In areas with a 3:1 backslope (horizontal to vertical), retaining walls should be designed for a lateral earth pressure of 50 pounds per cubic foot, equivalent fluid weight. In areas where the retaining wall backslope is 2:1, then the retaining walls should be designed for a lateral earth pressure of 60 pounds per cubic foot, equivalent fluid weight. In areas where the lower part of the retaining wall is in reasonably competent bedrock, then the portion of the retaining wall within the underlying bedrock may be designed for a lateral earth pressure of 30 pounds per cubic foot, equivalent fluid weight. All retaining walls should be provided with back subdrains similar to that shown on Appendix 2.

The previously indicated lateral earth pressure retaining wall design values may be used in a triangular distribution if the top of the retaining wall can accept and tolerate slight deflection. However, if the retaining wall top is restrained and cannot accept deflection, then the trapezoidal lateral earth pressure as indicated on Plate 10 should be used.

All retaining wall footings should bottom in competent, well-confined bedrock materials as determined by the soil engineer. In areas where competent, well-confined bedrock materials are not present, drilled piers will be required to support the retaining wall footings.

Retaining wall footings that bottom in competent bedrock materials as determined by the soil engineer may be designed for dead plus live design load end bearing capacities of 3,000 pounds per square foot.

The footings of the walls may be designed for a passive pressure of about 400 pounds per cubic foot, equivalent fluid weight, and a coefficient of sliding friction of about 0.35. However, due to variations in subsurface conditions, these values may be modified by the soil engineer during construction. All footings should be cleaned of all loose materials prior to the concrete pour.

Where retaining walls are supported upon drilled piers, the portion of the drilled piers within the underlying bedrock materials may be designed for a passive pressure resistance of 400 pounds per cubic foot, equivalent fluid weight, acting upon 2 pier diameters.

If good retaining wall performance is desired, such as in habitable portions of the structure, then such retaining walls should be very carefully waterproofed.

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Drainage - With respect to the proposed under house basement, because the proposed construction will be cut into the hillside and will thus probably intercept natural drainage paths, we recommend that special precautions be taken with respect to surface and subsurface drainage.

All retaining walls should be very carefully waterproofed with Paraseal or better. Also, we would suggest that a concrete batch plant waterproofing additive be used in addition to the Paraseal such as "Xypex Concrete Waterproofing by Crystallization" or equivalent as deeper cut excavations of this type are prone to leakage and seepage. At the joint between the retaining wall stems and retaining wall footings, in addition to the formed structural key way, we would also encourage that a plastic or bentonite water stop be installed so as to lessen the likelihood of leakage at that location. We would also recommend that the cold joint between concrete pours be provided with epoxy grouting-sealant.

All concrete floor slabs should be underlain with at least 4 inches of clean, hard drain rock at least 3/4-inch in size so as to provide a capillary moisture break. Also, an approved waterproof membrane should be placed between the drain rock and the floor slab. The placement of 2 inches of sand on top of the waterproof membrane may help in the curing of the concrete as well as provide some puncture protection for the waterproof membrane during construction.

Also, an appropriate trench-type collector subdrain, about 12 inches in depth and 12 inches in width and sloped 2 percent to drain, should be constructed beneath the floor slab to provide further protection against the buildup of hydrostatic pressures beneath the floor slab.

It has been our experience that with time, most basement and parking garage areas experience some seepage and leakage effects, and especially so after earthquake ground shaking. Therefore, we would recommend that periodic catch basins and/or sumps be located within the garage and the floors slabs sloped slightly to drain in possible anticipation of possible future local slight seepage effects.

Additional general recommendations pertaining to drainage are provided in Appendix 1.

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Seismicity and Earthquake Hazards - Review of the State of California Division of Mines and Geology "Fault Map of California" and Special Fault Zone Study Maps indicate that the site is located about 14 miles west of the Hayward Fault zone and about 4.1 miles east of the San Andreas Fault zone, which experienced great movement in 1906.

Review of the U.S. Geological Survey publication entitled, "Maximum Earthquake Intensity - San Francisco Bay Region," prepared by Brocherdt and others, and identified as Map Sheet MF-709, and extrapolation of the data therein presented, indicates that the site could be subjected to strong earthquake vibrations at least once during its useful life.

For the 1997 Uniform Building Code Seismic Factors, the site should be considered to consist of soil profile type (Sb) with a seismic source type of (A) and with a near source factor (Na) of 1.2 and a near source (NV) factor of 1.6.

Field Changes - Field changes will likely be necessary during construction, depending upon the actual subsurface conditions encountered. The most likely field changes will be the determination of where spread footings may be used and where drilled piers will be necessary and adjustments in the pier hole depths, depending upon the depth to the bedrock and the quality and hardness of the bedrock.

We trust this report provides the information you require. Please call if you have further questions.

The following are attached and complete this report:

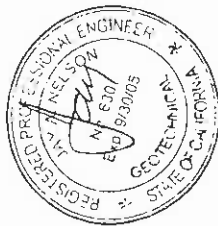
- Plate 1 Site Location Map
- Plate 2 Site Plan
- Plates 3 - 6 Logs of Exploration
- Plate 7 Soil Classification Chart
- Plates 8 - 9 Foundation Details
- Plate 10 Rigid Wall Pressure
- Plate 11 Geogrid Fill Details
- Plate 12 Area Topographical Map
- Appendix 1 - Site Drainage
- Appendix 2 - Subdrain Details
- Appendix 3 - Wall Surcharge Details
- Appendix 3.1 - House Appendages
- Appendix 4 - Fill Placement
- Appendix 4.1 - Hillside Fill Details
- Appendix 4.3 - Existing Older Cut and Fill Slope Maintenance
- Appendix 5 - Effect Upon Adjacent Land
- Appendix 6 - Construction Safety
- Appendix 7.1 - Wind Loading
- Appendix 8 - Land Maintenance

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- Appendix 8.1 - Earth Buttress Details
- Appendix 9 - Limitations
- Appendix 10 - Construction Observation

- Appendix A - General Recommendations, Risks, Material Notes, Responsibility, Limitations and Related Items
- Appendix B - Section 832, California Civil Code
- Appendix C-1 and C-2 - Concrete Floor Slabs
- Appendix G - General Foundation Notes
- Appendix I - Nuisance and Liability for Land Condition
- Appendix S - Sidewalks, Curbs, Patios, Etc.
- Appendix V - Vegetation and Erosion Control

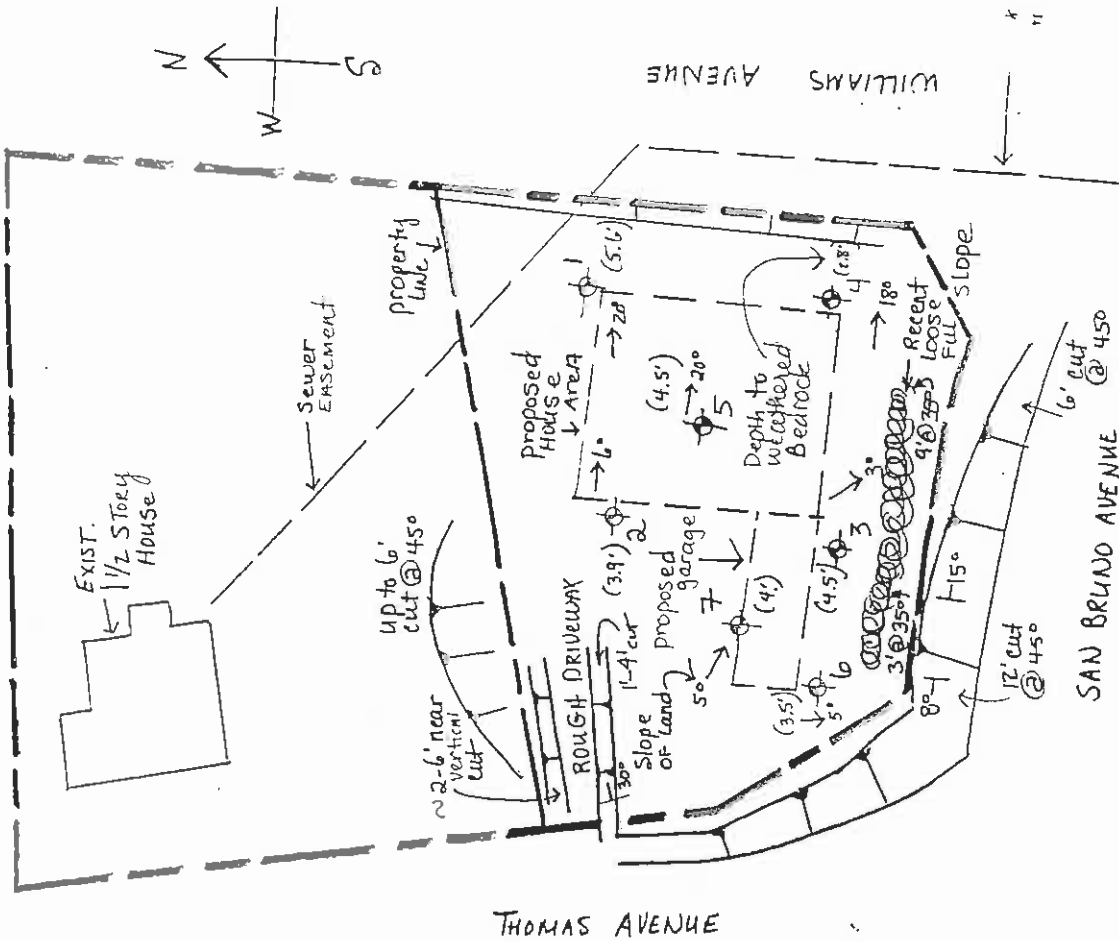
Yours very truly,  
 EARTH SCIENCE CONSULTANTS



Jay A. Nelson  
 Principal Geotechnical Engineer  
 Civil Engineer - 19738, expires 9/30/05  
 Geotechnical Engineer - 630

2 copies submitted

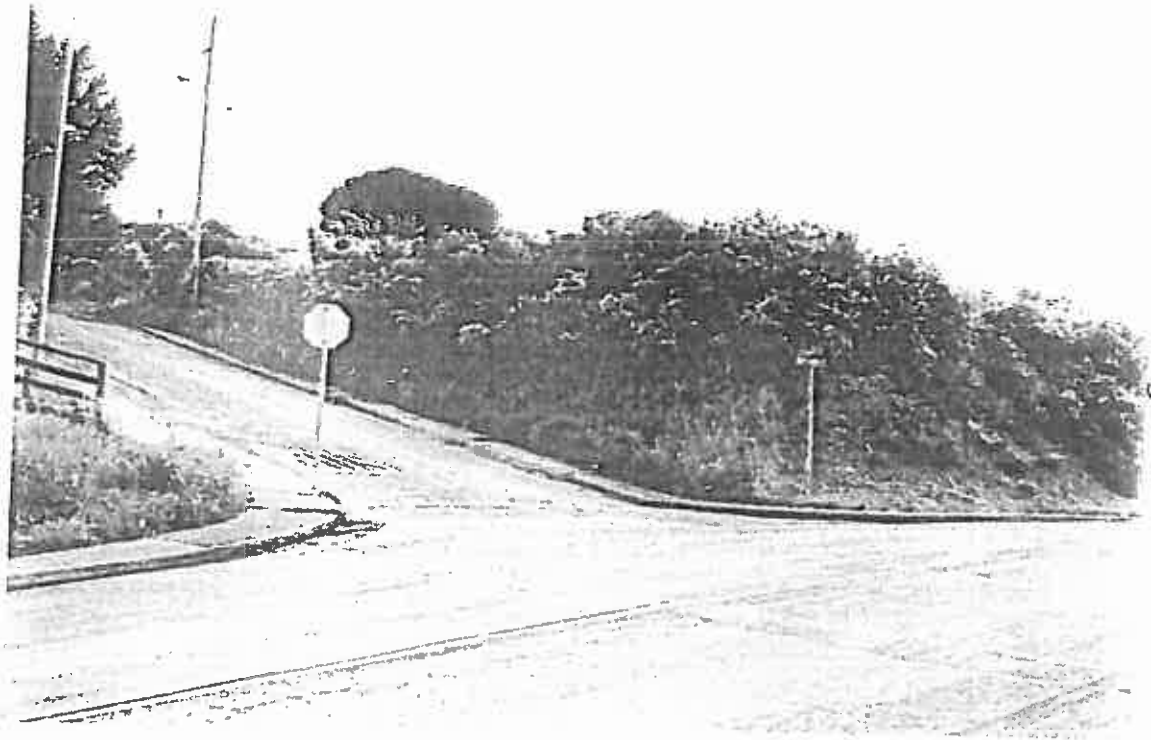
cc: Hawk M. Lee  
 Architect/Consulting Engineer  
 1609 Noriega Street  
 San Francisco, CA 94122



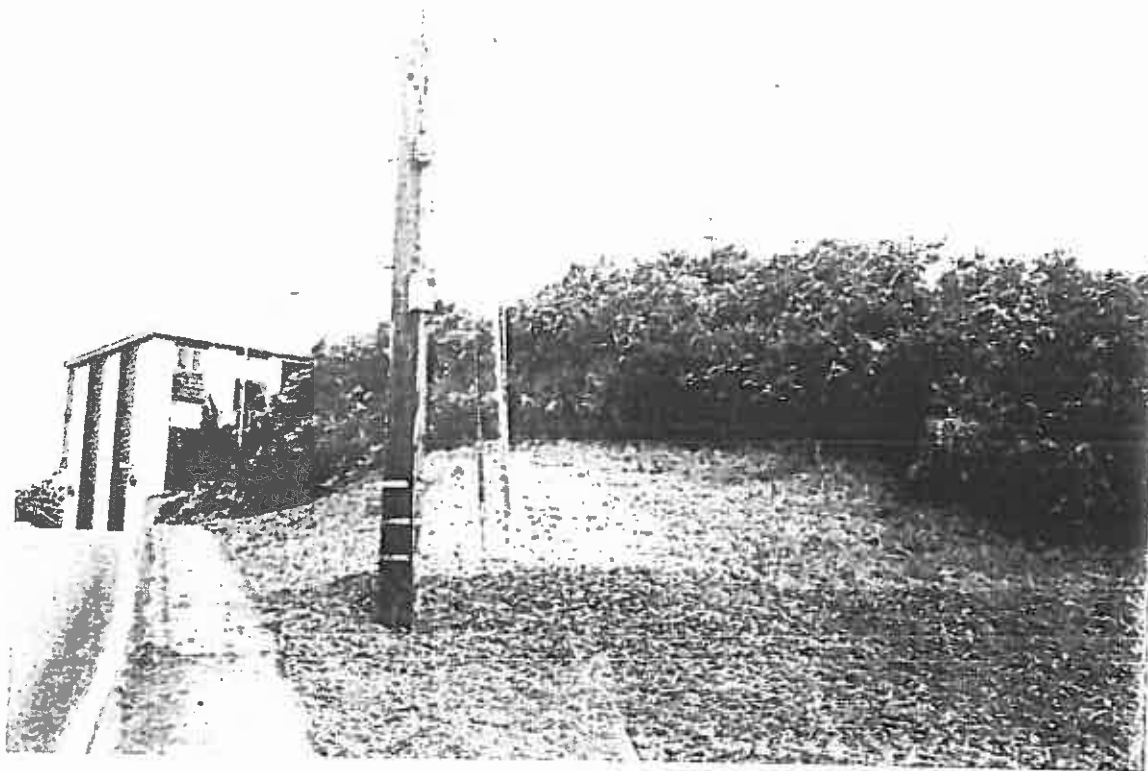
Job No. 045337 Appr. *[Signature]* Date 2.28.04  
 8 Thomas Ave.  
 BRISBANE, CA  
 SITE PLAN

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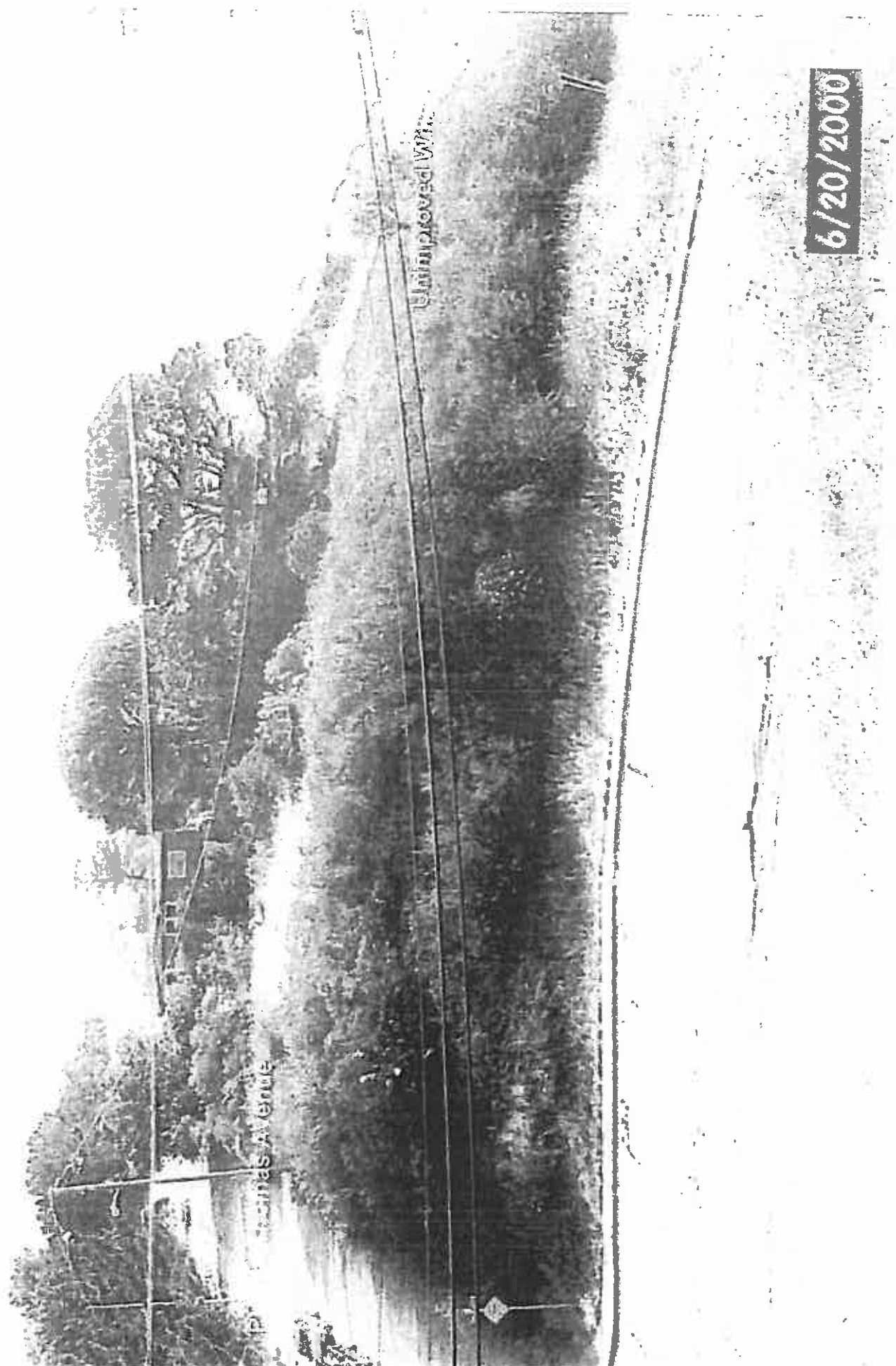


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NE corner San Bruno / Thomas

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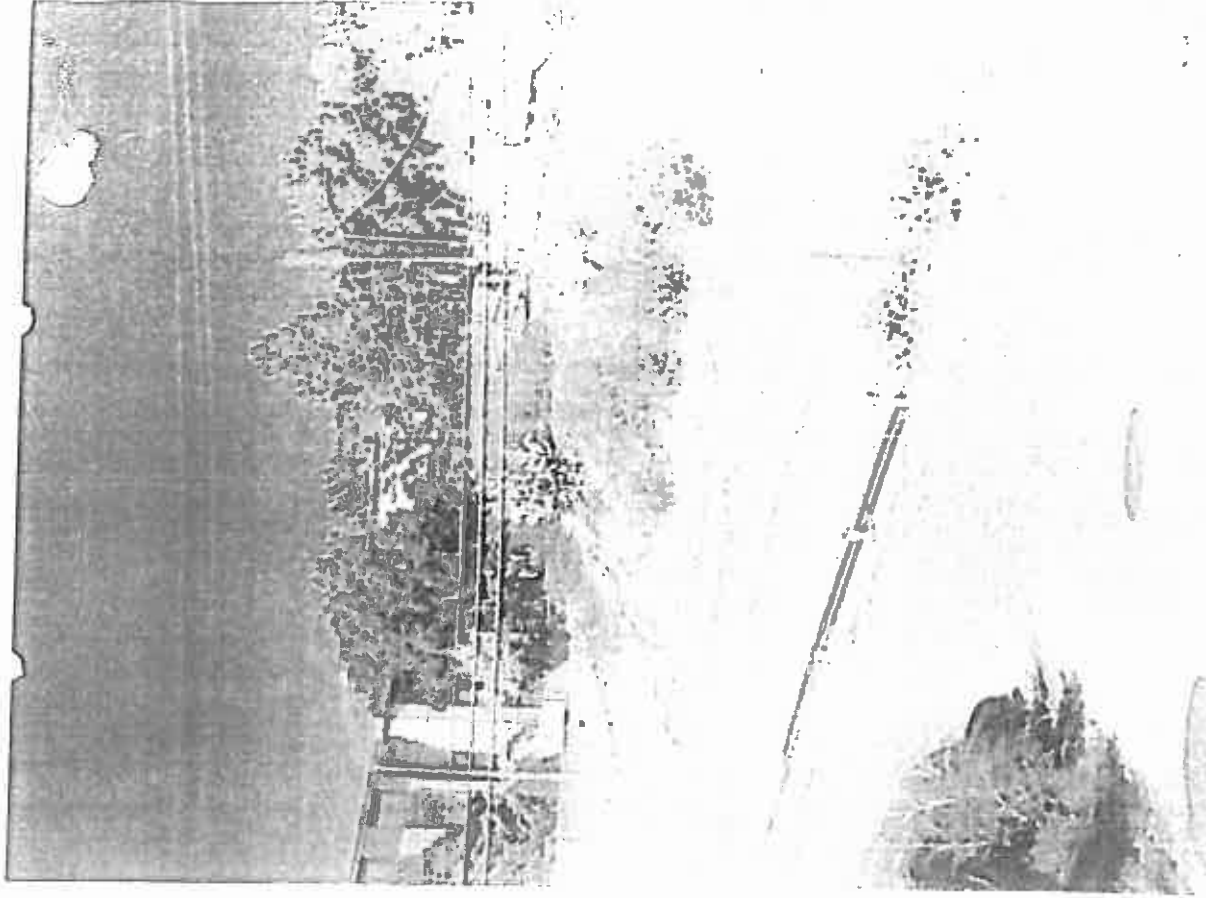
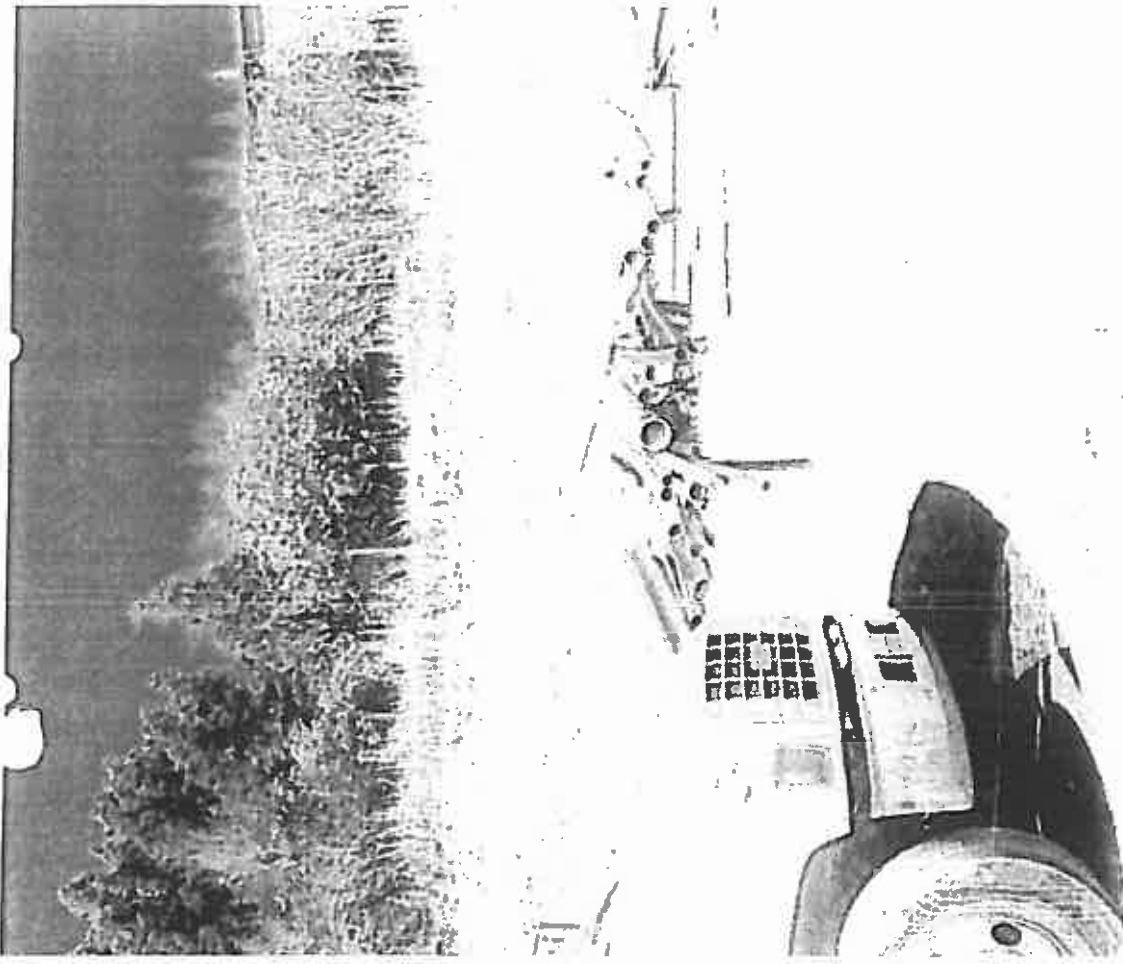


Thomas Avenue

Unimproved W/...

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